

8-9 HILLSIDE AVENUE - LOT B, VAUCLUSE NEW DWELLING

DEVELOPMENT APPLICATION
APRIL 2020

DRAWING LIST

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DA_07	PLAN - second floor
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DA_11	ELEVATION - north
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SITE DETAILS

address : 8-9 Hillside Avenue, Vaucluse, NSW
property : Lot B
site area : 1083m²

FINISHES & NOTATIONS LEGEND

a/c	-	air conditioning + ducted heating equipment
AEGL	-	assumed existing ground line
AHD	-	Australian Height Datum
conc	-	concrete
cpt	-	carpet
cr	-	cement render
crs	-	special clay render
ct	-	ceramic tiles
dck	-	timber decking
dp	-	down pipe
dr	-	tumble dryer
dw	-	dishwasher
(e)	-	existing
EGL	-	existing ground level to AHD
eoc	-	exposed off form concrete
eq.	-	equal
FFL	-	finished floor level to AHD
fr	-	refrigerator
fw	-	floor waste
fz	-	freezer
gl	-	glass
hwu	-	hot water unit
j	-	joinery
mir	-	mirror
mr	-	metal roof sheeting
mt	-	mosaic tiles
nts	-	not to scale
p	-	paint finish
re	-	rammed earth
RL	-	relative level to AHD
rt	-	roofing tiles
rwh	-	rain water head
sk	-	skylight
stt	-	stone tiles
tmb	-	timber
typ	-	typical
wm	-	washing machine

BASIX CERTIFICATE

The applicant must comply with the requirements of
BASIX certificate No. 1075069S



note: image is for illustrative purposes only

issue	date	description
-	14.04.20	da_submission
C	29.01.21	further_amendments
D	03.03.21	lec_amendment

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NOM REG NO. 4895

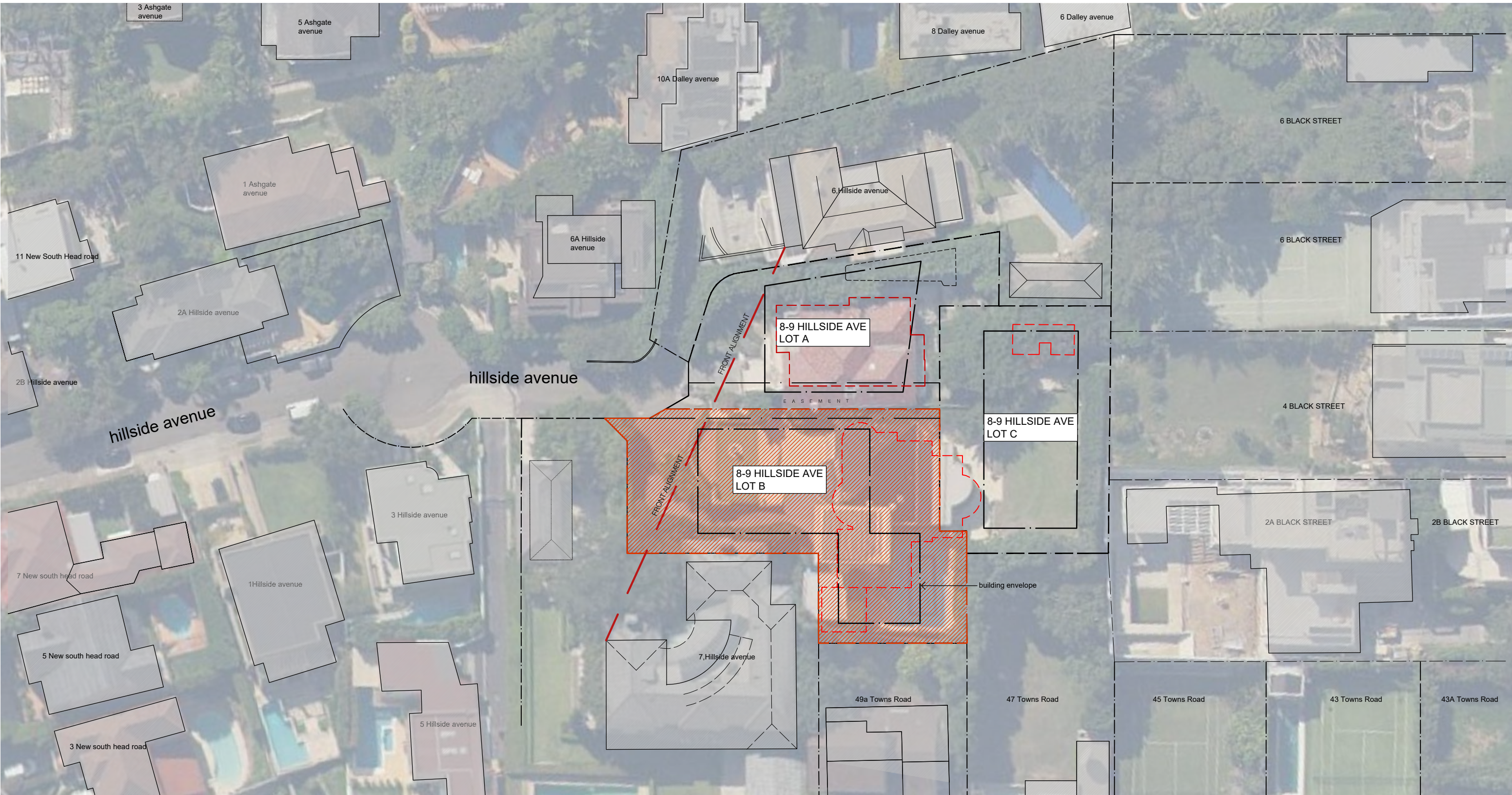
cover sheet

new dwelling house - LOT B
8-9 hillside avenue vaucluse

DA00 issue D
scale nts
plotdate 3/3/2021 3:18 PM
cadfile cover sheet lot b.dwg

1817B





locality plan
1:500

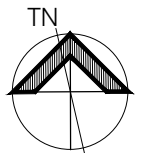
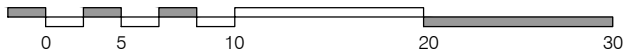
*NOTE: due to the particular location of lot A & lot B at the end of a cul-de-sac, the front setback can not be taken using the average of the 3 most typical setbacks of the adjoining properties. Therefore, the front setbacks are setup to maximize the amenity to the adjoining propeties and the proposed lots by using the front alignment line as shown in this locality plan.

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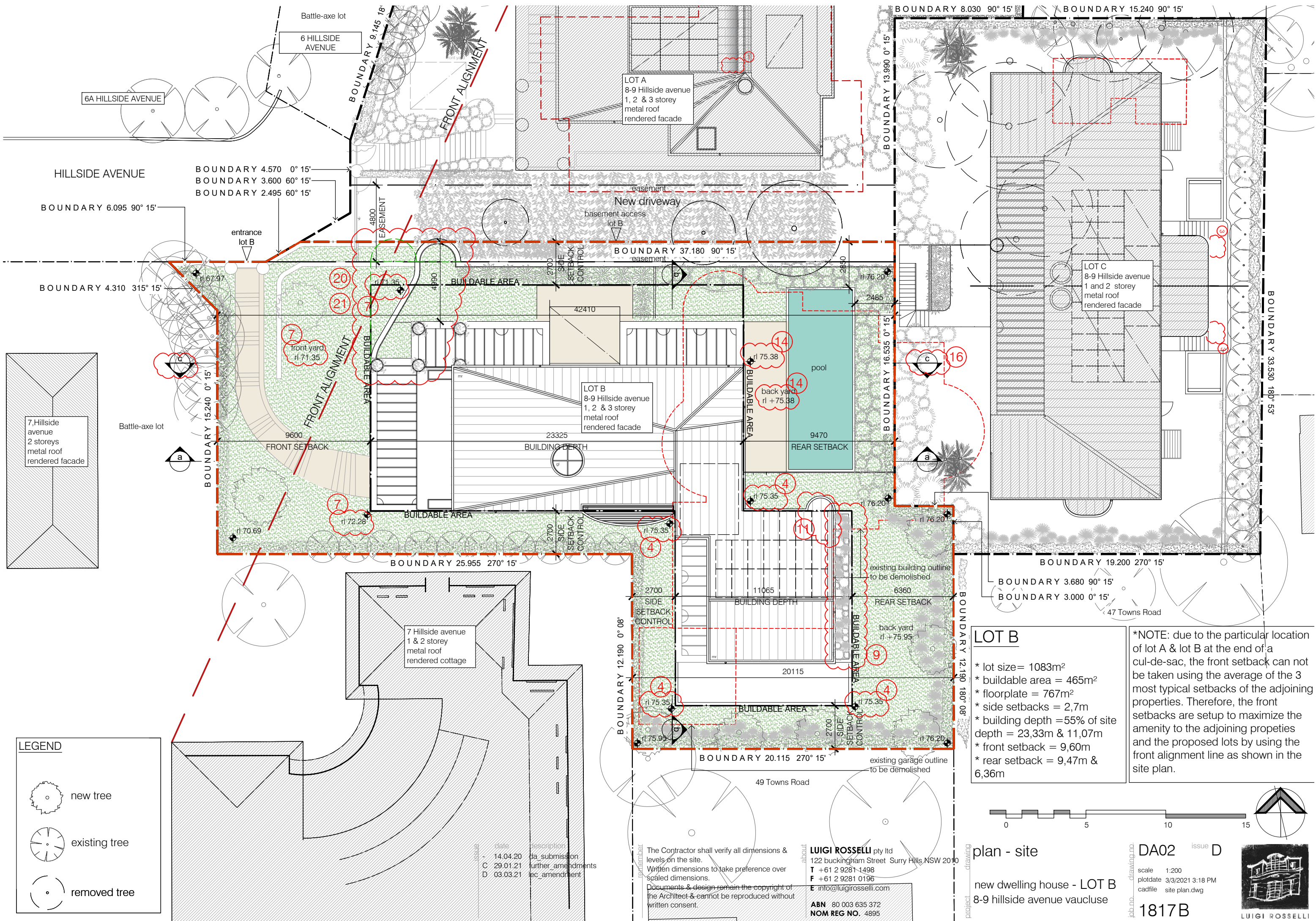
no changes



plan - locality
new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA01 issue D
scale 1:500
plotdate 3/3/2021 3:18 PM
cadfile locality plan.dwg
1817B





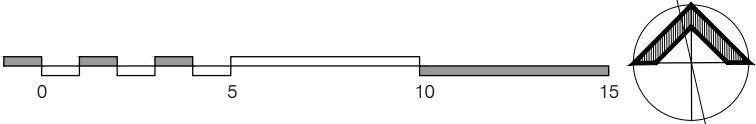
LEGEND

- new tree
- existing tree
- removed tree

LOT B

- * lot size = 1083m²
- * buildable area = 465m²
- * floorplate = 767m²
- * side setbacks = 2,7m
- * building depth = 55% of site depth = 23,33m & 11,07m
- * front setback = 9,60m
- * rear setback = 9,47m & 6,36m

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plan - site

new dwelling house - LOT B

8-9 hillside avenue vaucuse

DA02 issue D

scale 1:200

plotdate 3/3/2021 3:18 PM

cadfile site plan.dwg

1817B



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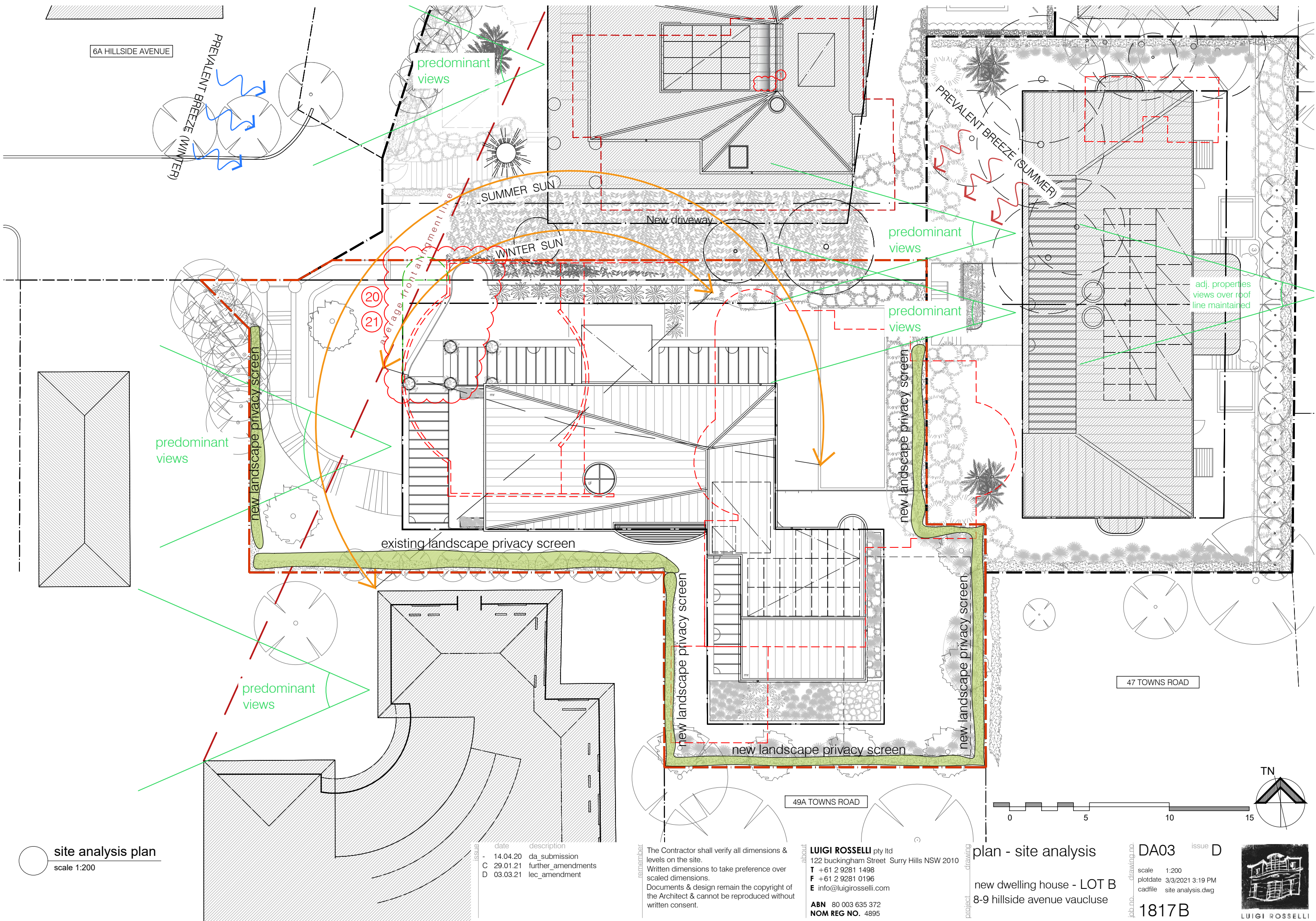
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site analysis plan
scale 1:200

issue	date	description
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plan - site analysis

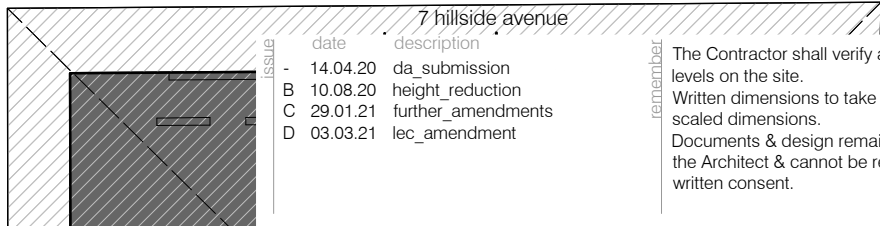
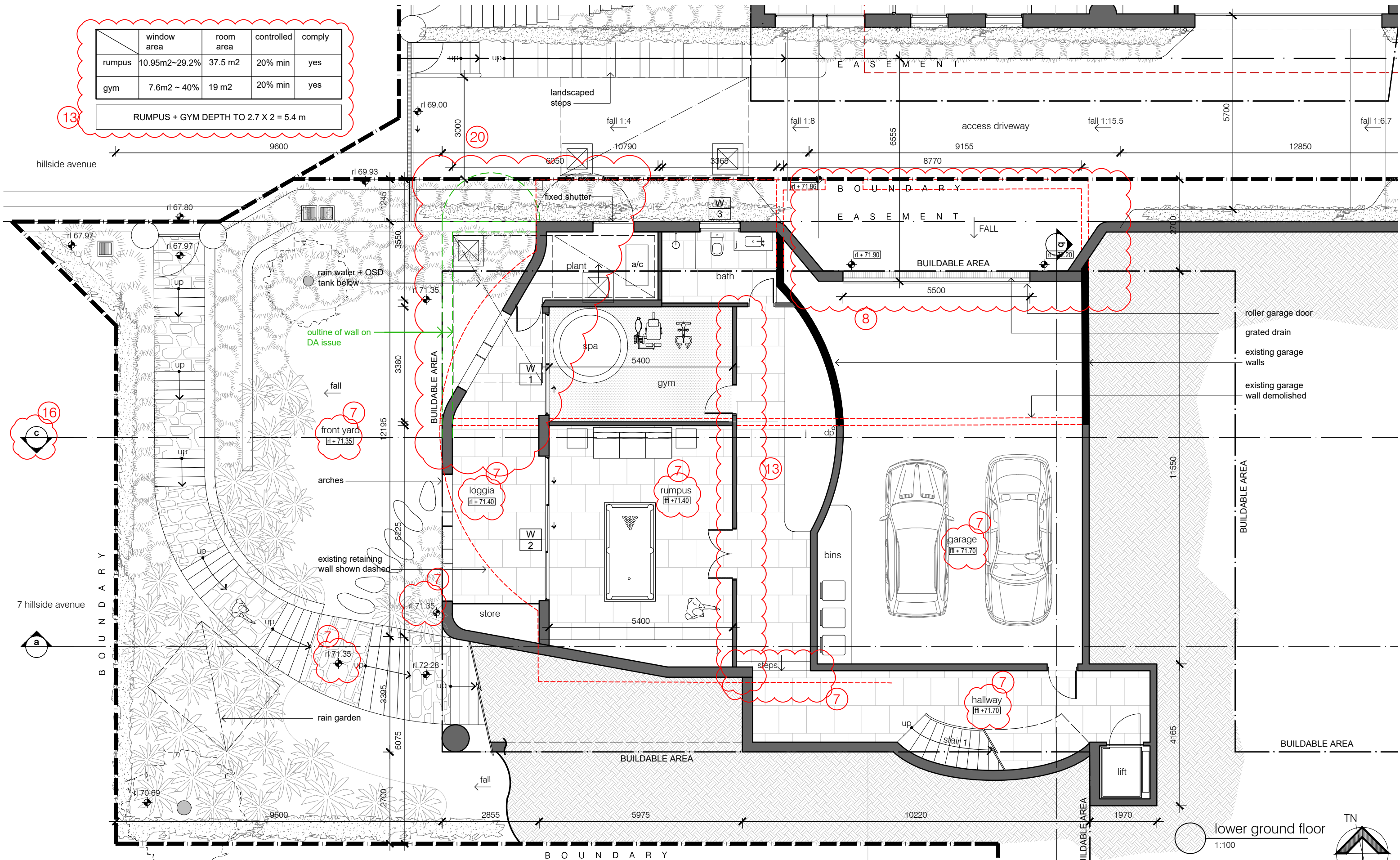
new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA03 issue D
scale 1:200
plotdate 3/3/2021 3:19 PM
cadfile site analysis.dwg
1817B



	window area	room area	controlled	comply
rumpus	10.95m2~29.2%	37.5 m2	20% min	yes
gym	7.6m2 ~ 40%	19 m2	20% min	yes

RUMPUS + GYM DEPTH TO 2.7 X 2 = 5.4 m



issue	date	description
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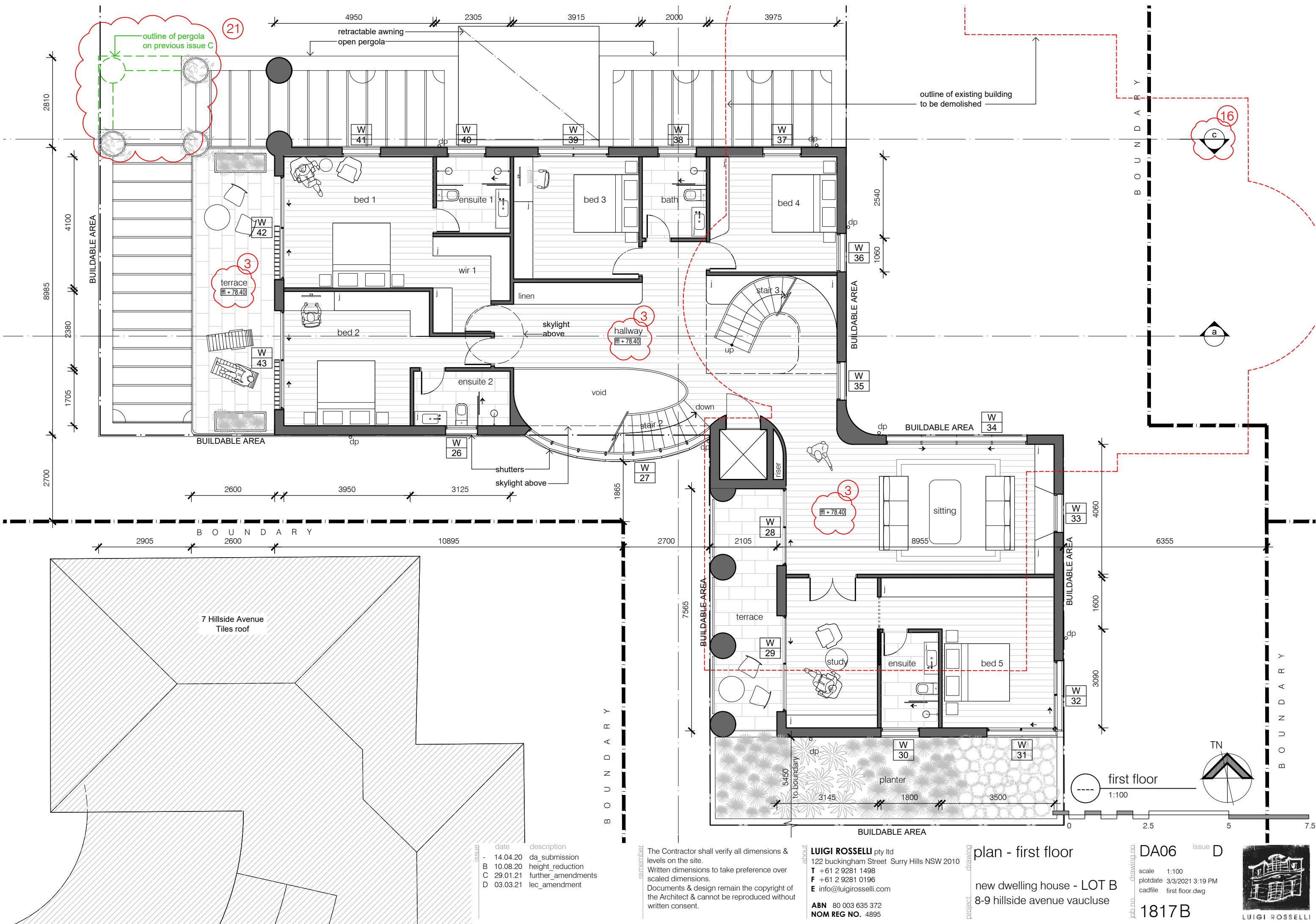
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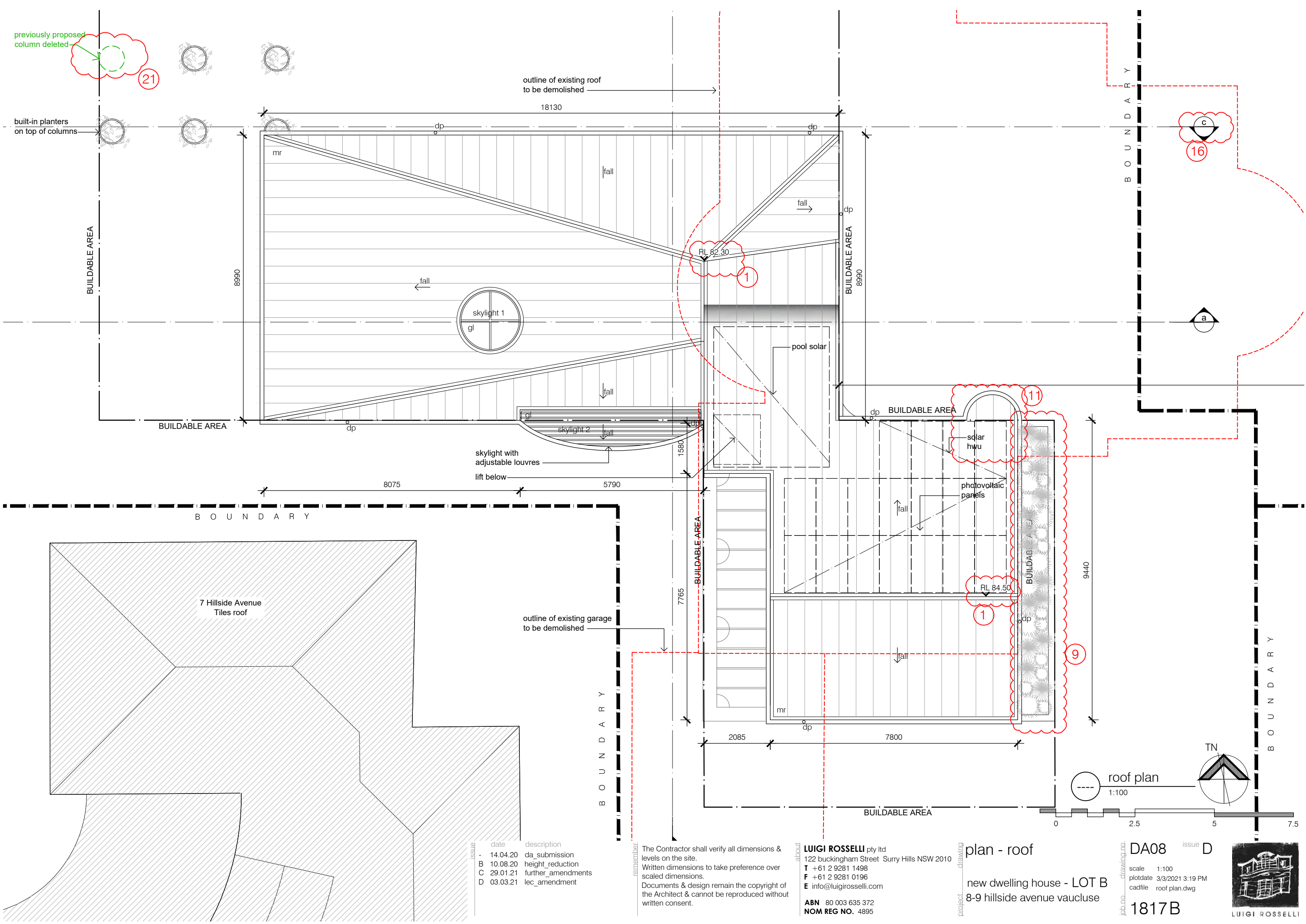
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plan - lower ground
new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA04 issue D
scale 1:100
plotdate 3/3/2021 4:54 PM
cadfile garage floor.dwg
1817B







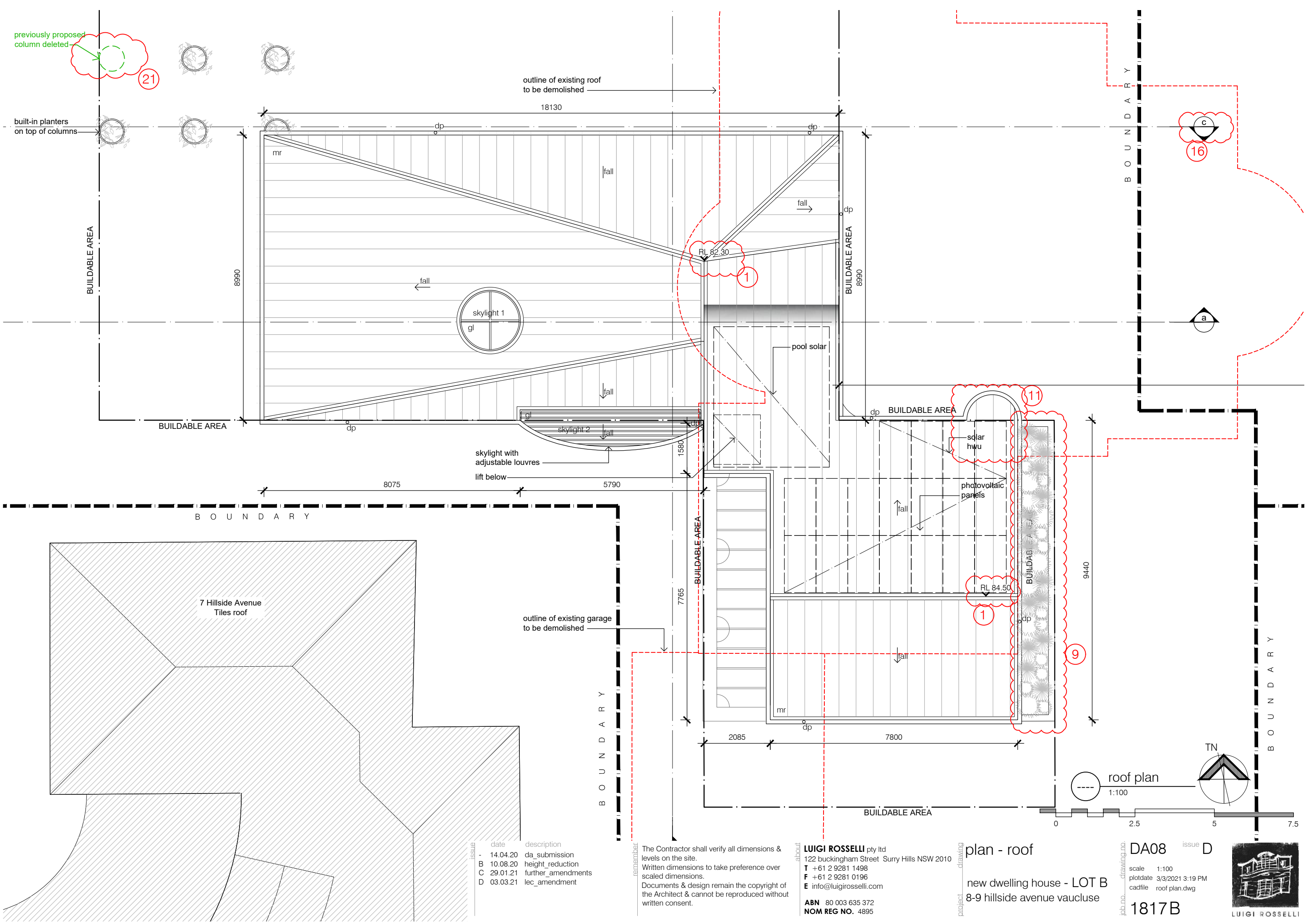
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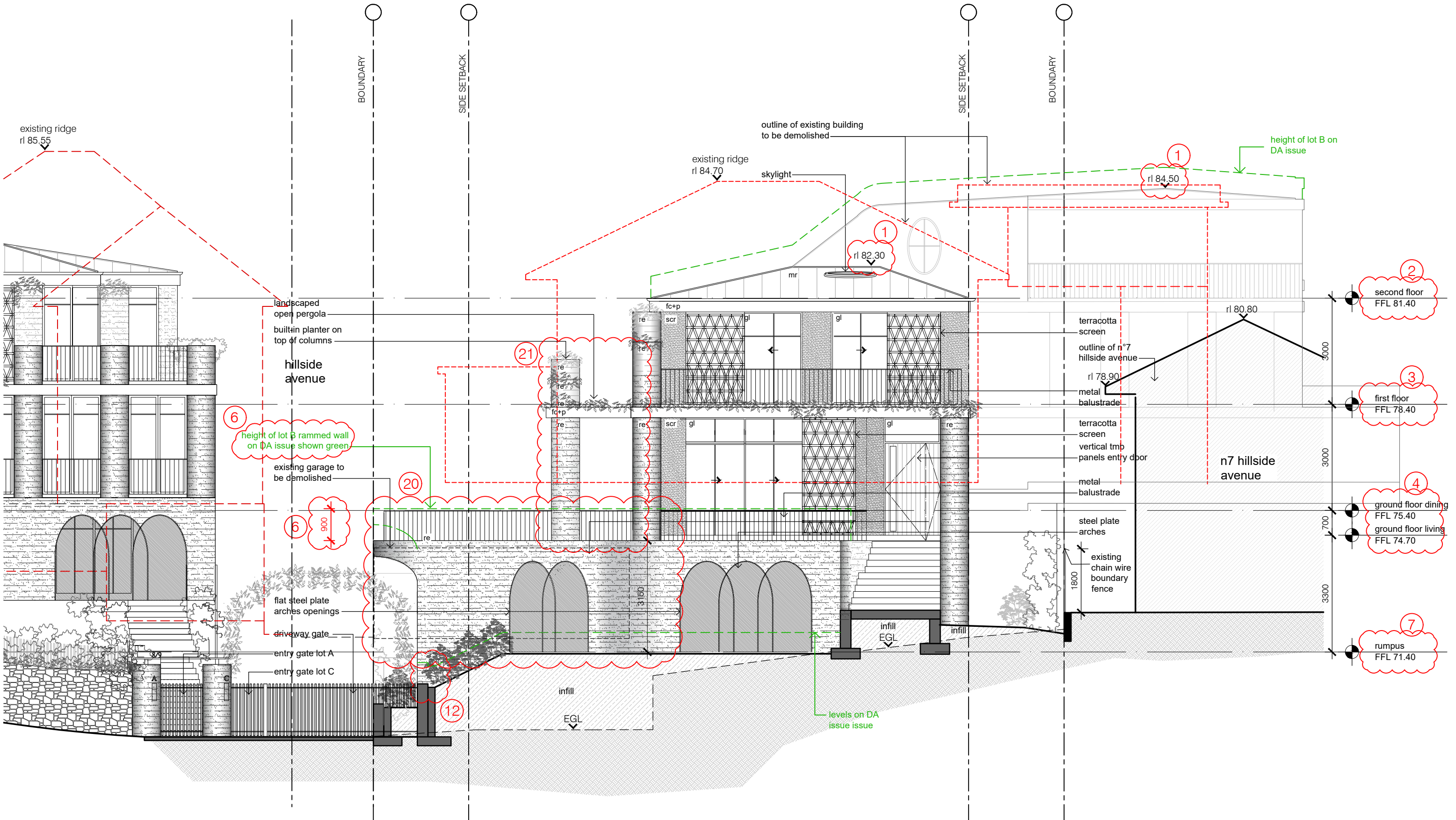
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plan - roof
new dwelling house - LOT B
8-9 hillside avenue vaucuse
1817B

DA08 issue D
scale 1:100
plotdate 3/3/2021 3:19 PM
cadfile roof plan.dwg
job.no. 1817B





elevation west
scale 1:100

issue	date	description
-	14.04.20	da_submission
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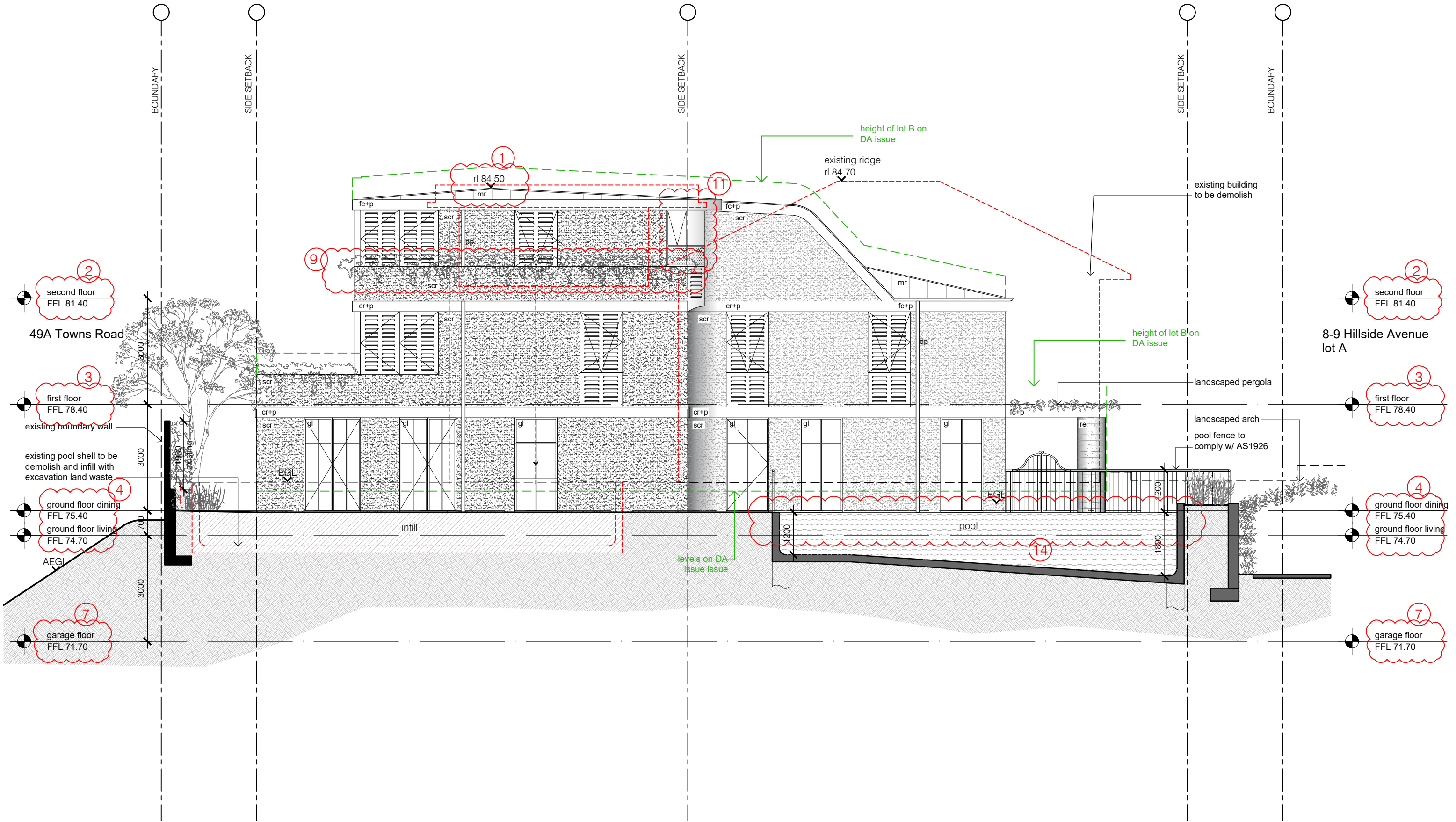
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elevation - west
new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA09 issue D
scale 1:100
plotdate 3/3/2021 3:19 PM
cadfile elevation west.dwg
1817B





elevation east
scale 1:100

issue	date	description
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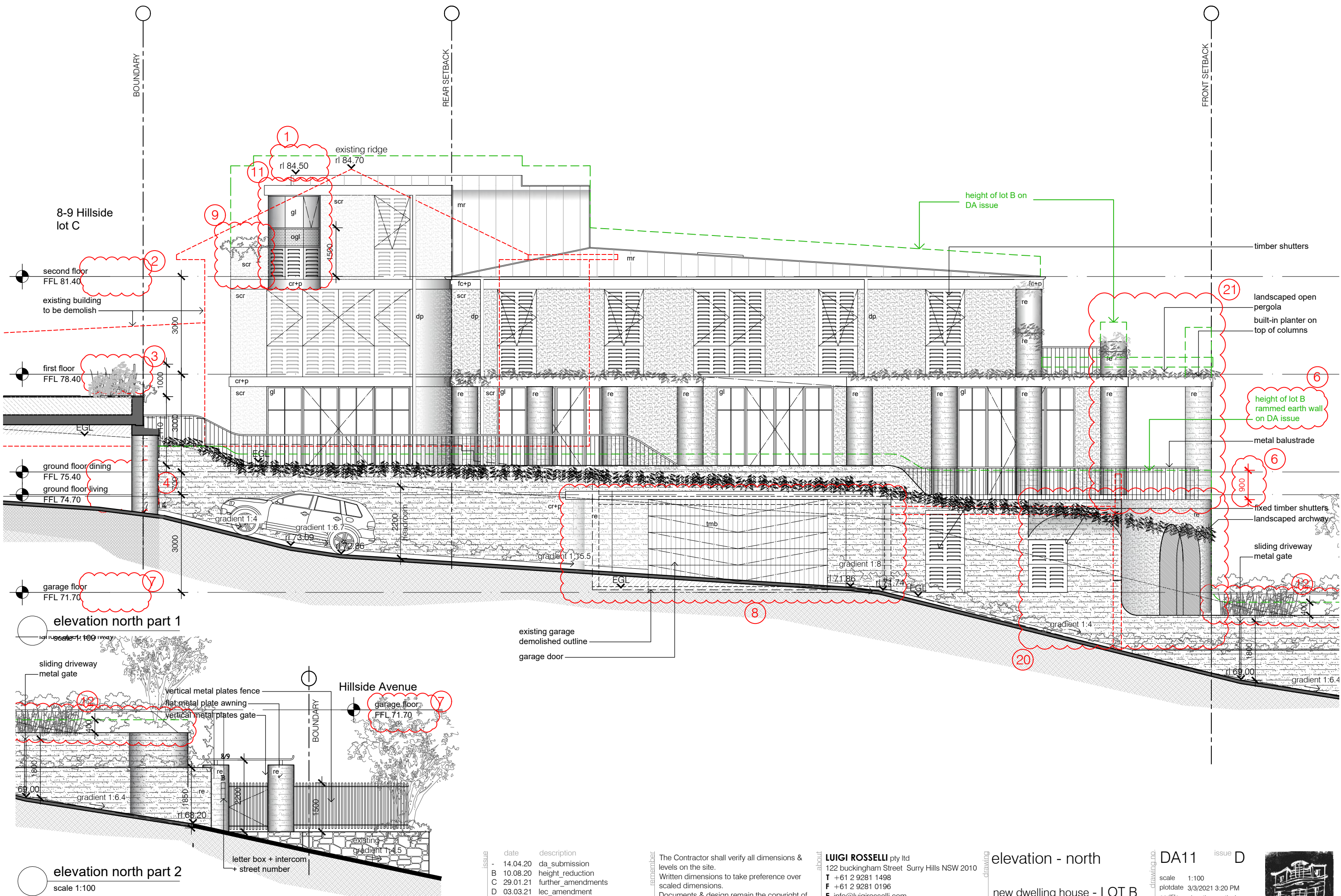
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elevation - east
new dwelling house - LOT B
8-9 hillside avenue vaucuse

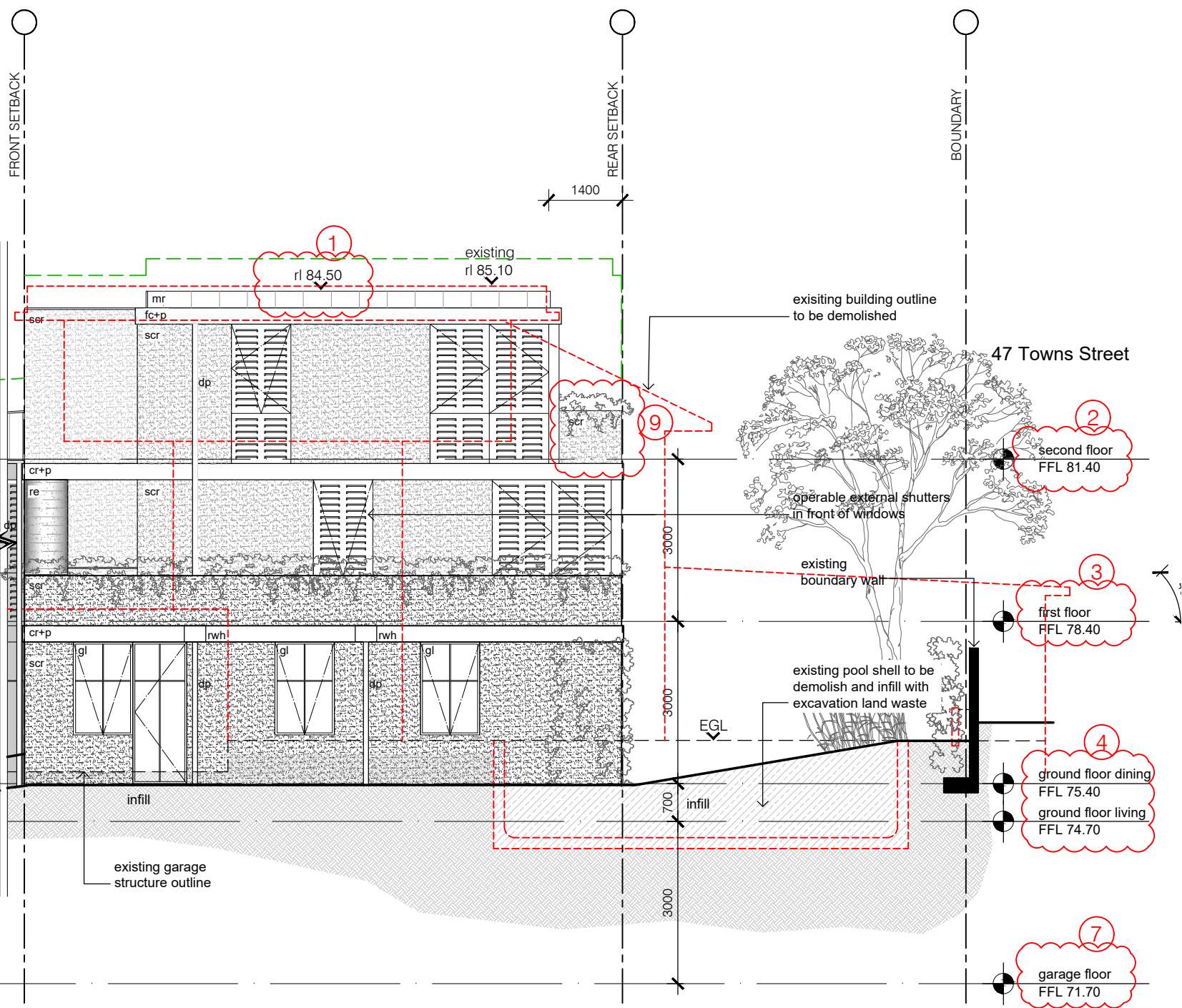
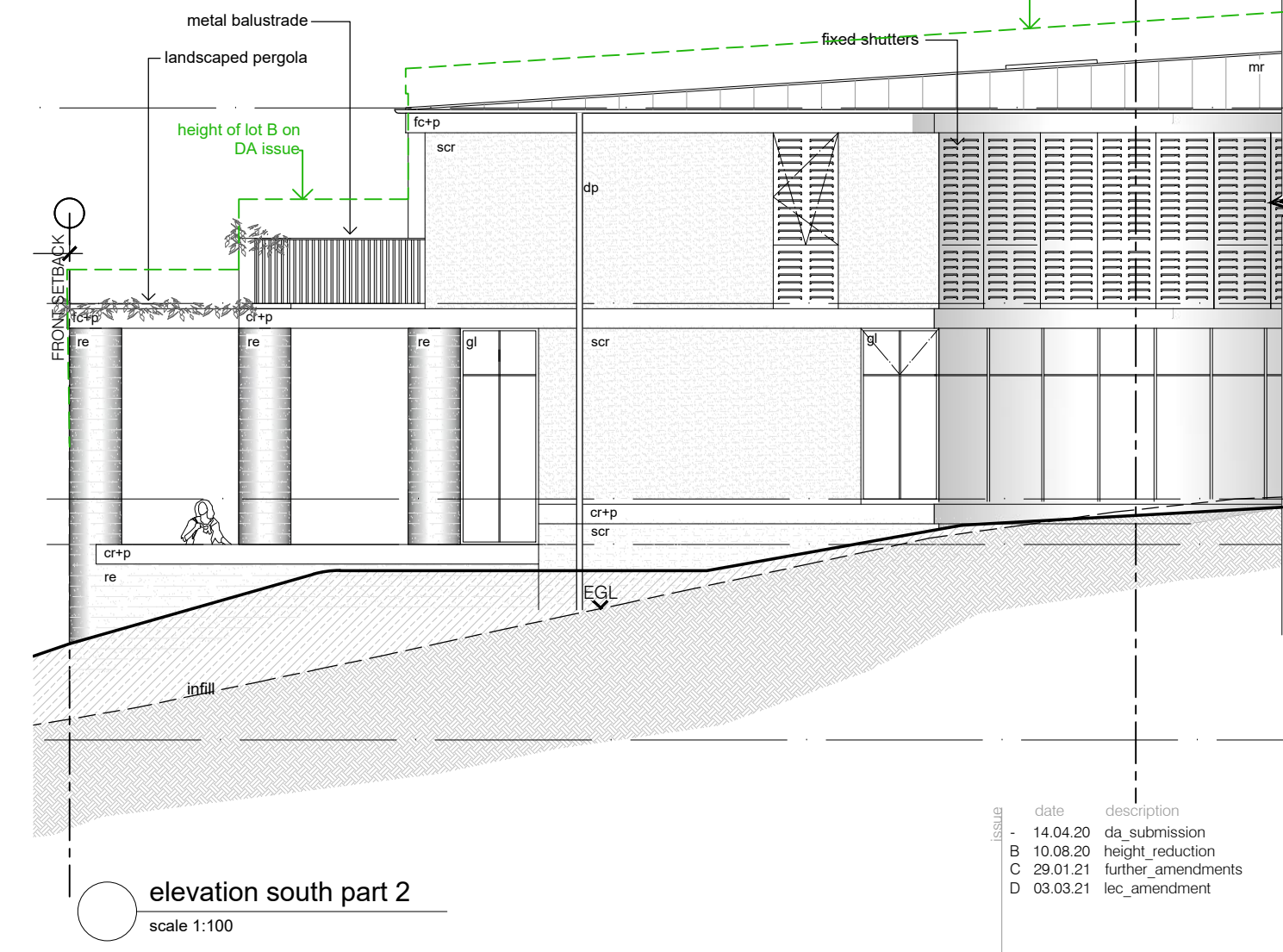
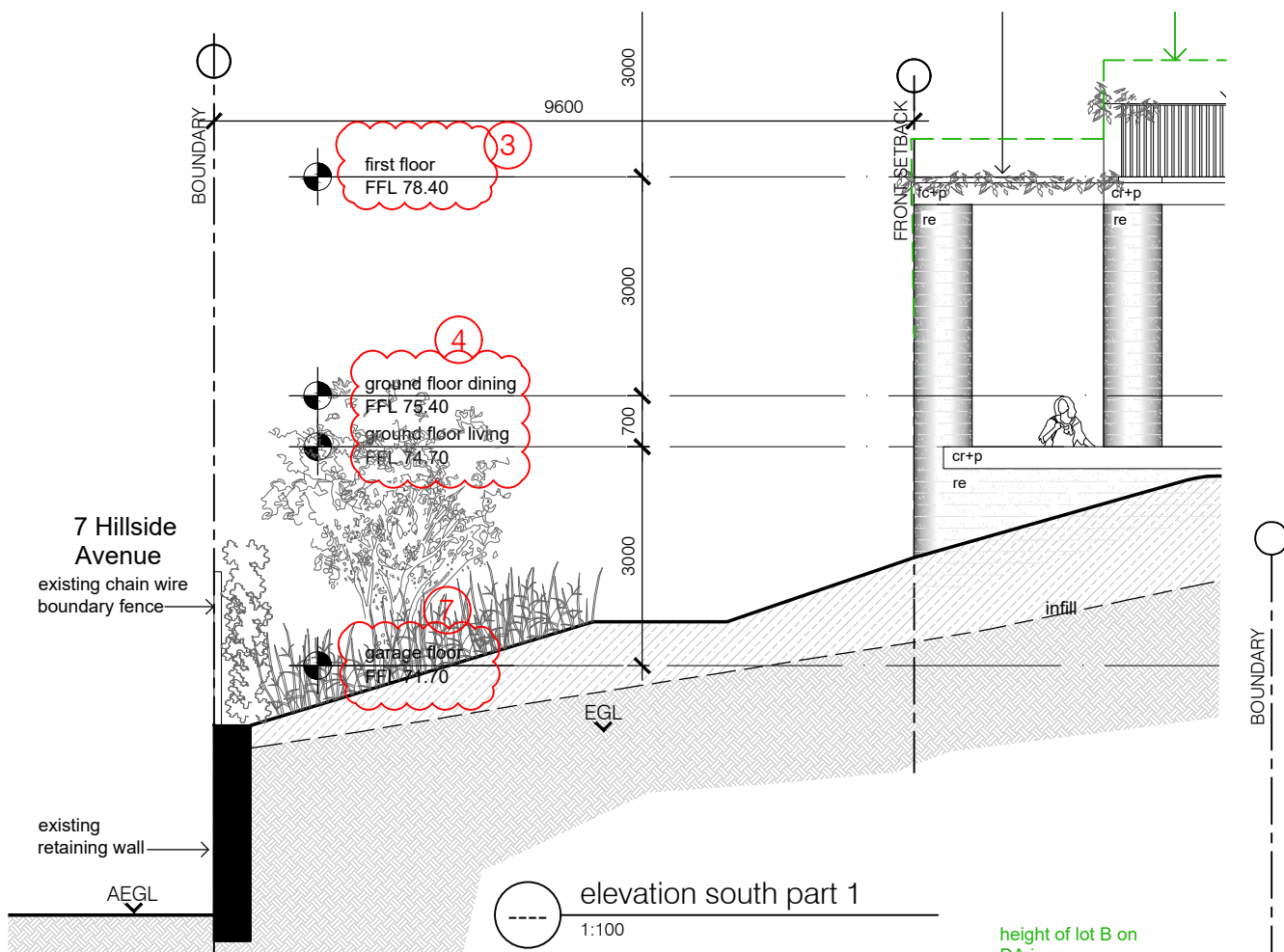
DA10 issue D
scale 1:100
plotdate 3/3/2021 3:19 PM
cadfile elevation east.dwg
1817B





issue	date	description
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B	14.04.20	da_submission
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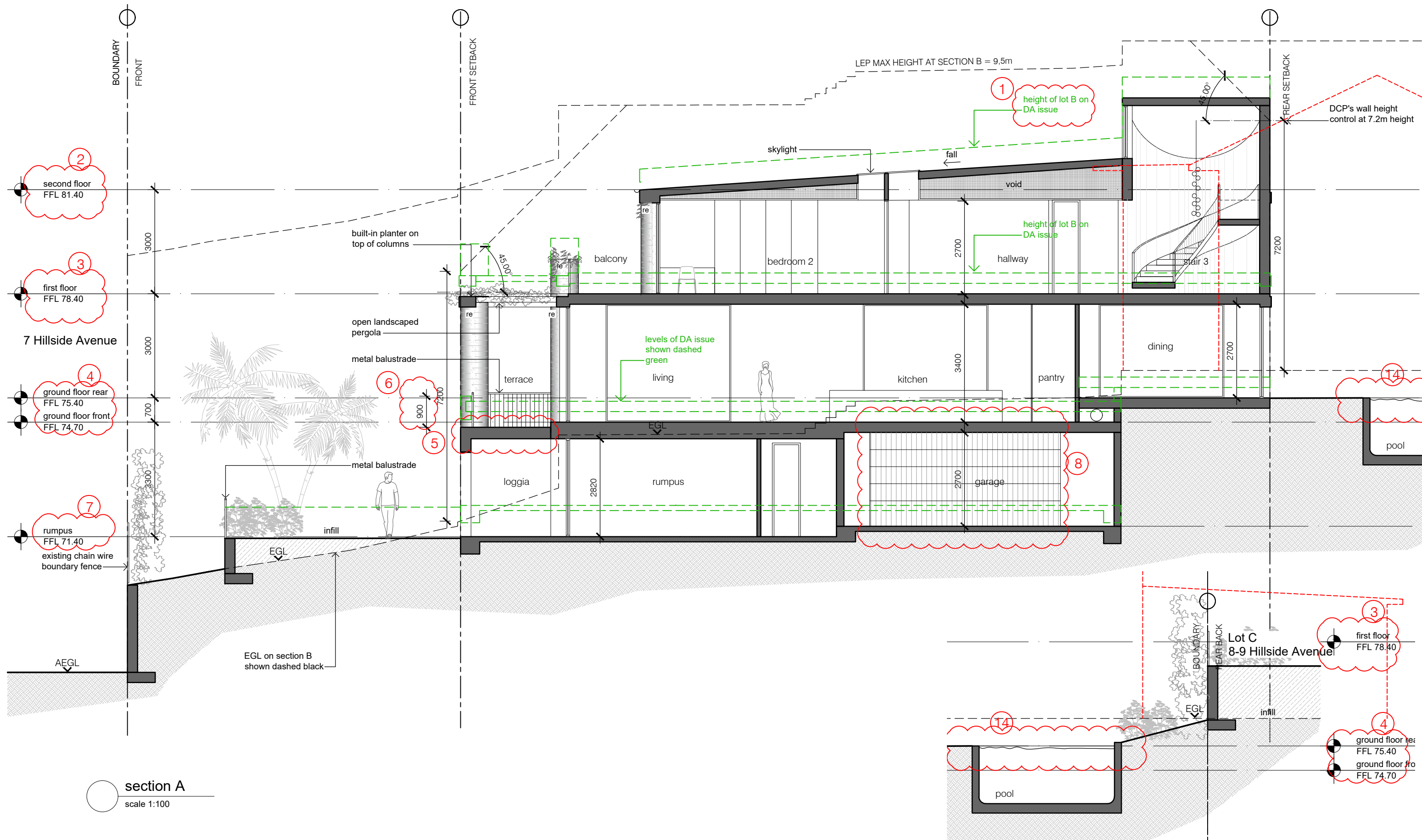
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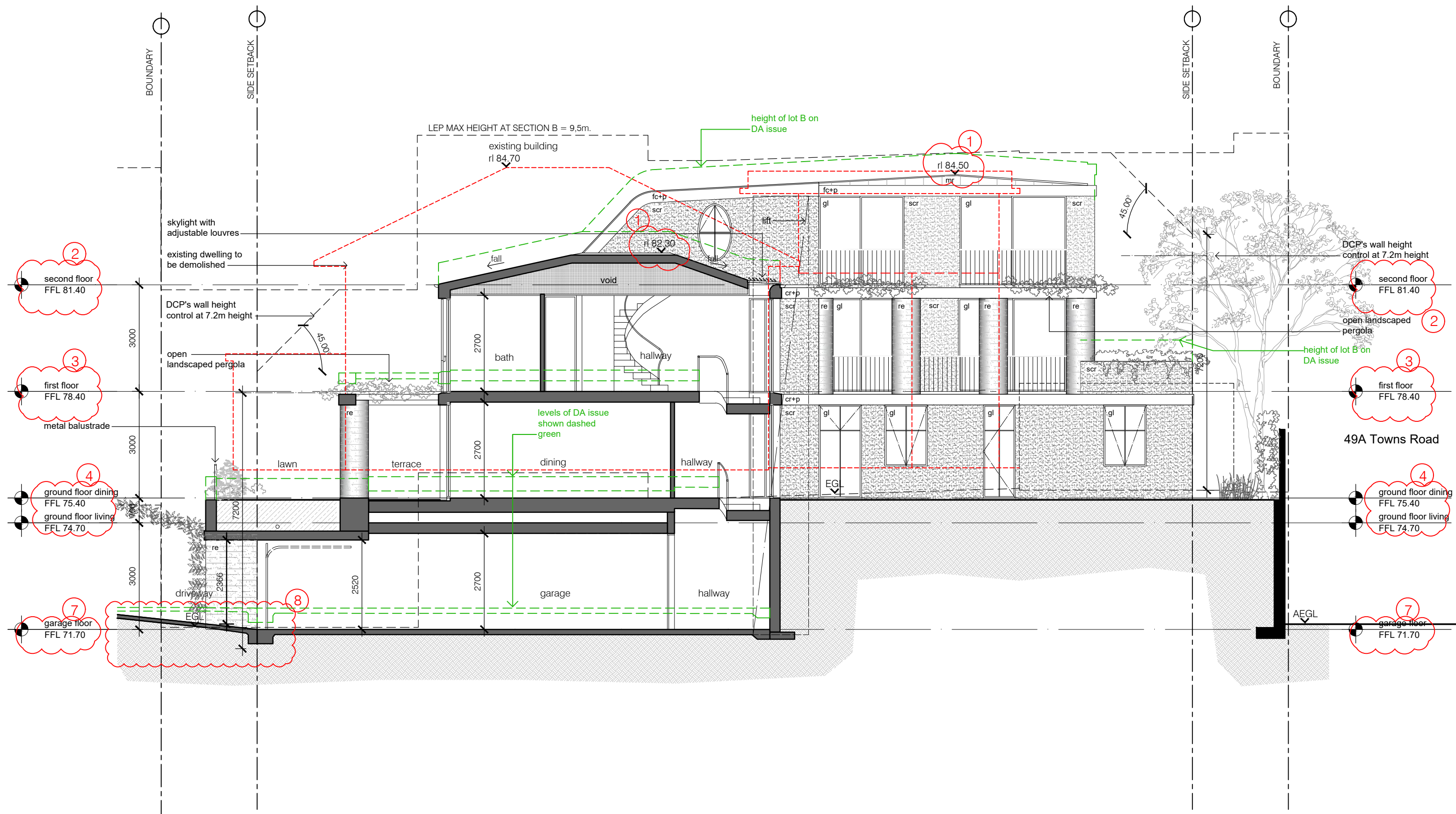
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new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA12 issue D
scale 1:100
plotdate 3/3/2021 3:20 PM
cadfile elevation south.dwg
1817B







issue	date	description
A	14.04.20	da_submission
B	10.08.20	height_reduction
C	29.01.21	further_amendments
D	03.03.21	lec_amendment

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section b

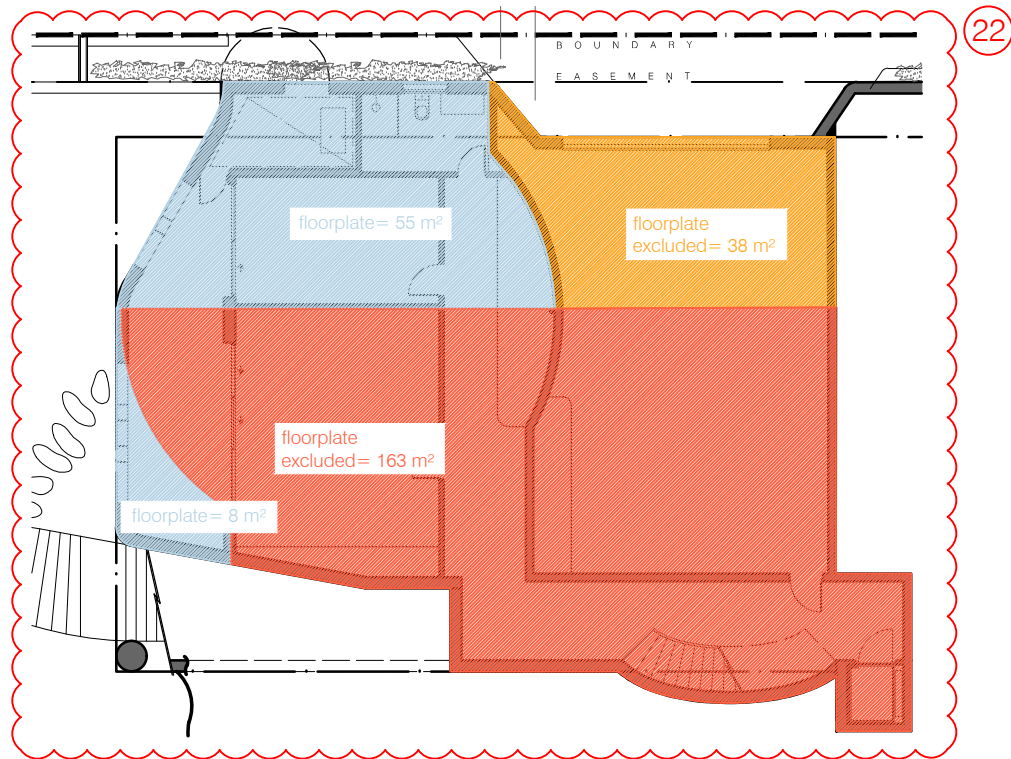
new dwelling house - LOT B

8-9 hillside avenue vauclease

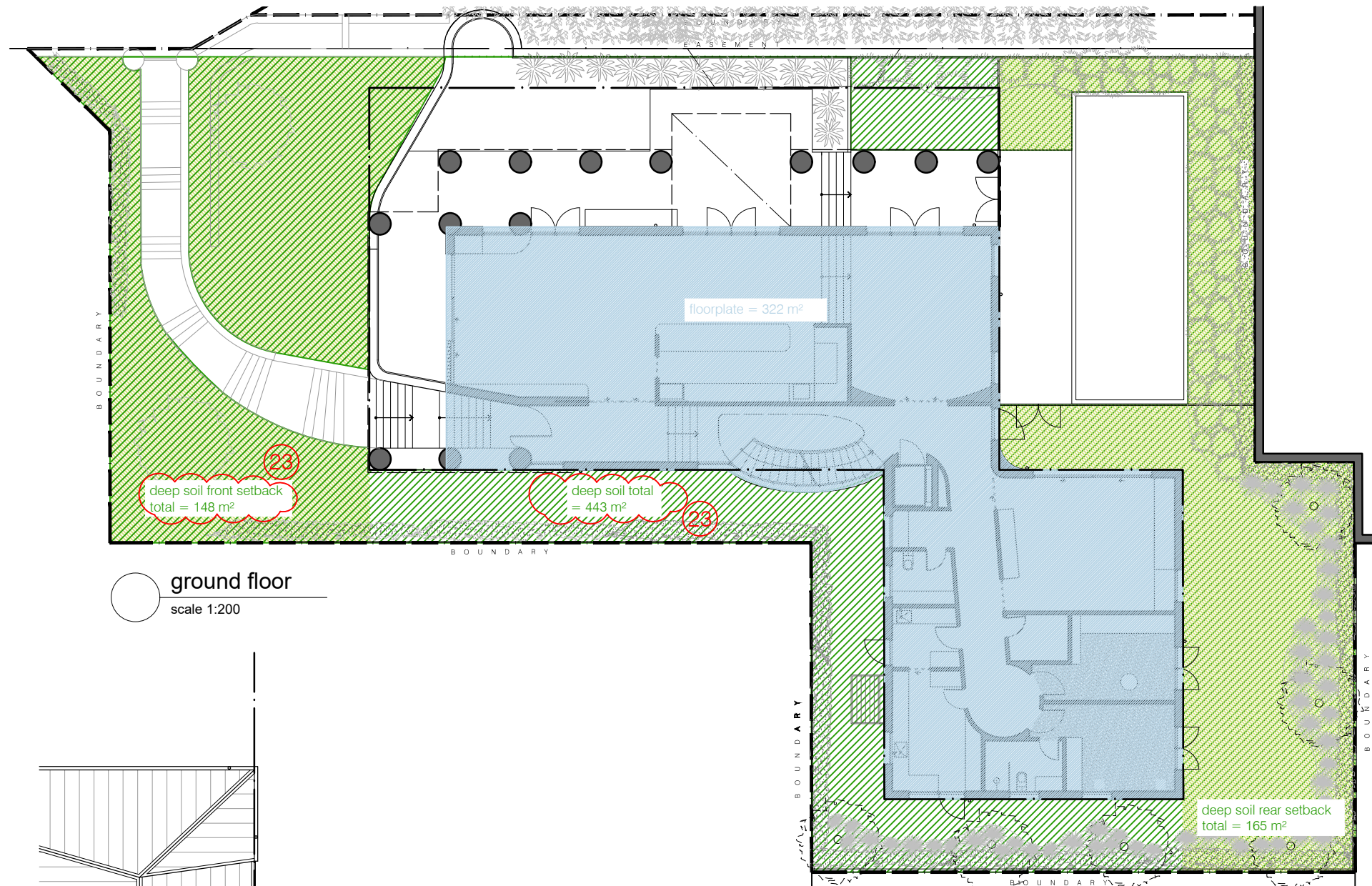
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cadfile section b.dwg
1817B



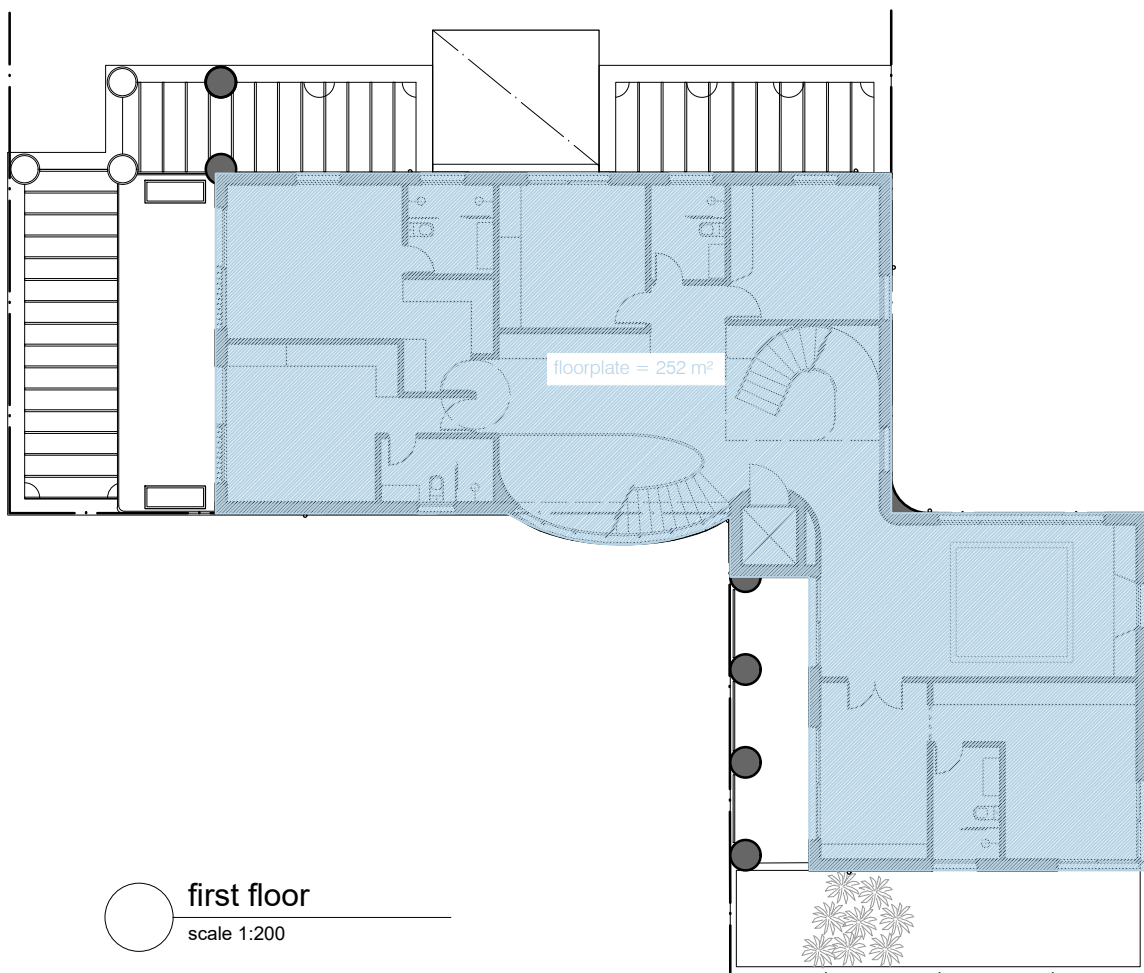




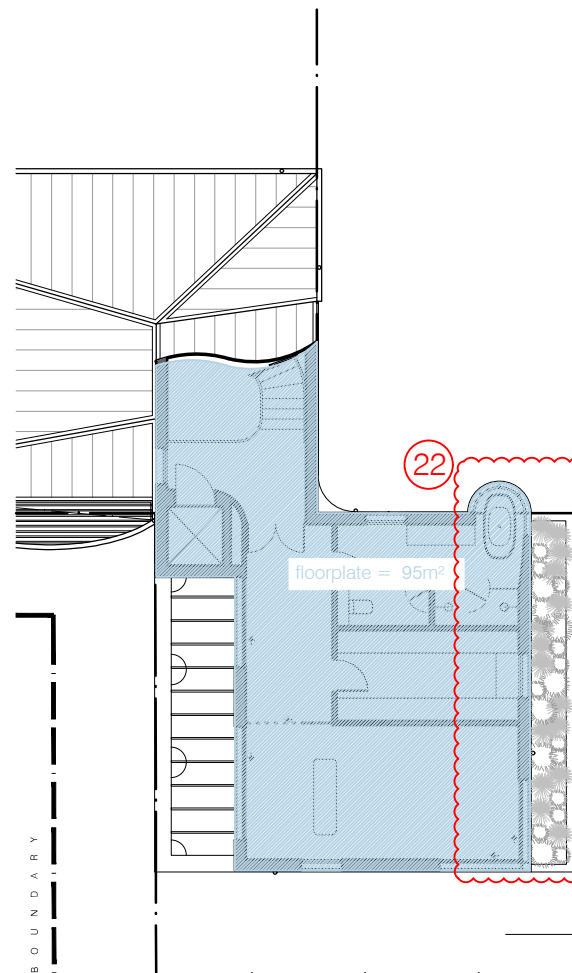
lower ground floor
scale 1:200



ground floor
scale 1:200



first floor
scale 1:200



second floor
scale 1:200

LEGEND	
	excluded floorplate; garage inside buildable area & ≤ 40m ²
	excluded floorplate; GF ≤ 1m above EGL
	included floorplate; GF ≥ 1m above EGL
	deepsoil landscape out of buildable area
	deepsoil landscape at front & rear setback

FLOORPLATE CALCULATION	
* Lower ground floor = $55+8=63\text{ m}^2$	22
* Ground floor = 322 m^2	
* First floor = 252 m^2	
* Second floor = 95 m^2	
* TOTAL = 732 m^2	
* DCP control = 767 m^2	
DEEP SOIL LANDSCAPED OUTSIDE THE BUILDABLE AREA	
(Must be $\geq 50\%$ of total; $\geq 40\%$ of total front ; $\geq 50\%$ of total rear setback)	
*Total area outside of buildable area = 619 m^2	23
*Total deepsoil landscaped area = 443 m^2	
*Percentage of total = 66%	
*Front setback deep soil landscaped area = 148 m^2 (75% of total 187 m^2)	
*Rear setback deep soil landscaped area = 165 m^2 (64% of total 256 m^2)	

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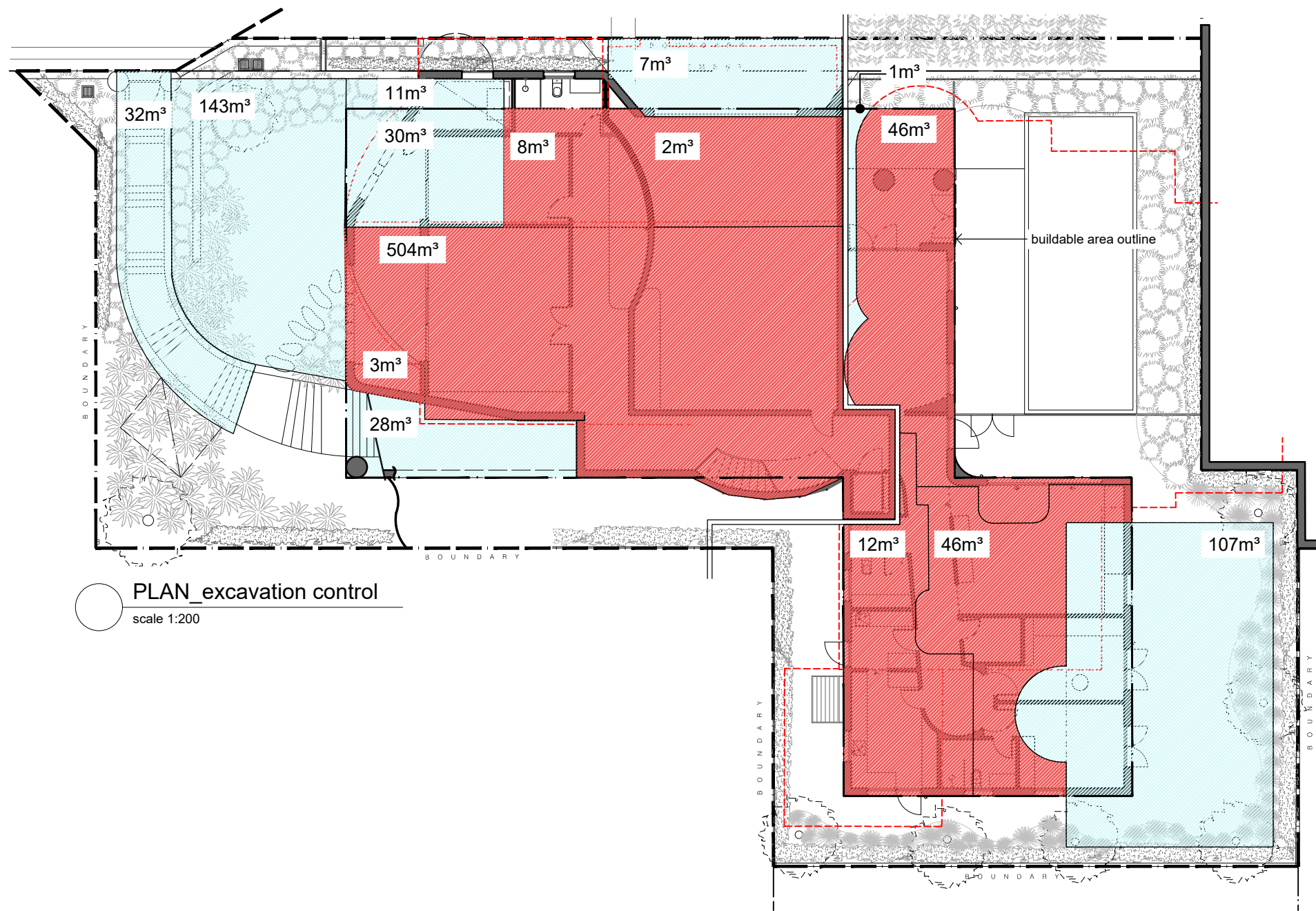
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floorplate + deepsoil
calculation
new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA15 issue D
scale 1:200
plotdate 3/3/2021 3:21 PM
cadfile floorplate + deepsoil
calculation.dwg
1817B





PLAN_excavation control
scale 1:200

24

Excavation volume inside buildable area

Infill volume

LOT B

Maximum excavation volume as per Woollahra DCP = 265m³

Excavation volume

*Excavation volume inside the buildable area = 621m³

Credits

*Volume of fill = 359m³

Total

Excavation volume - volume of fill ≤ Woollahra DCP allowance

= 621 - 359 = **262m³** ≤ 265m³

Note: Calculations made using computational 3D software.

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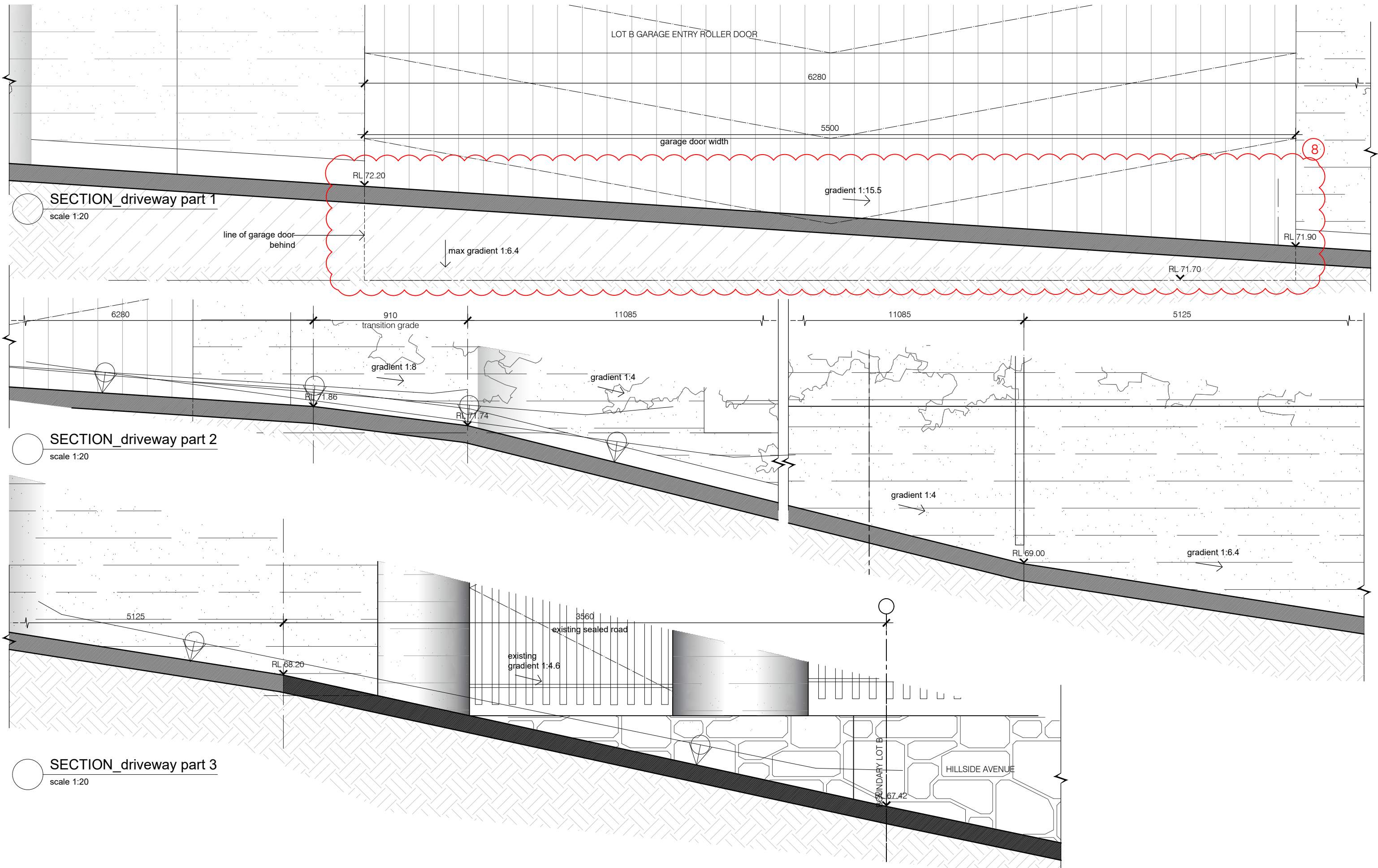
excavation control

new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA16 issue D
scale 1:200
plotdate 3/3/2021 3:21 PM
cadfile excavation control.dwg

1817B





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section - driveway
new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA17 issue **D**
scale 1:20
plotdate 3/3/2021 3:23 PM
cadfile driveway section.dwg
1817B





rammed earth columns (earth colour)



aluminum window (black)



metal roof sheeting (copper)



terracotta brick screen



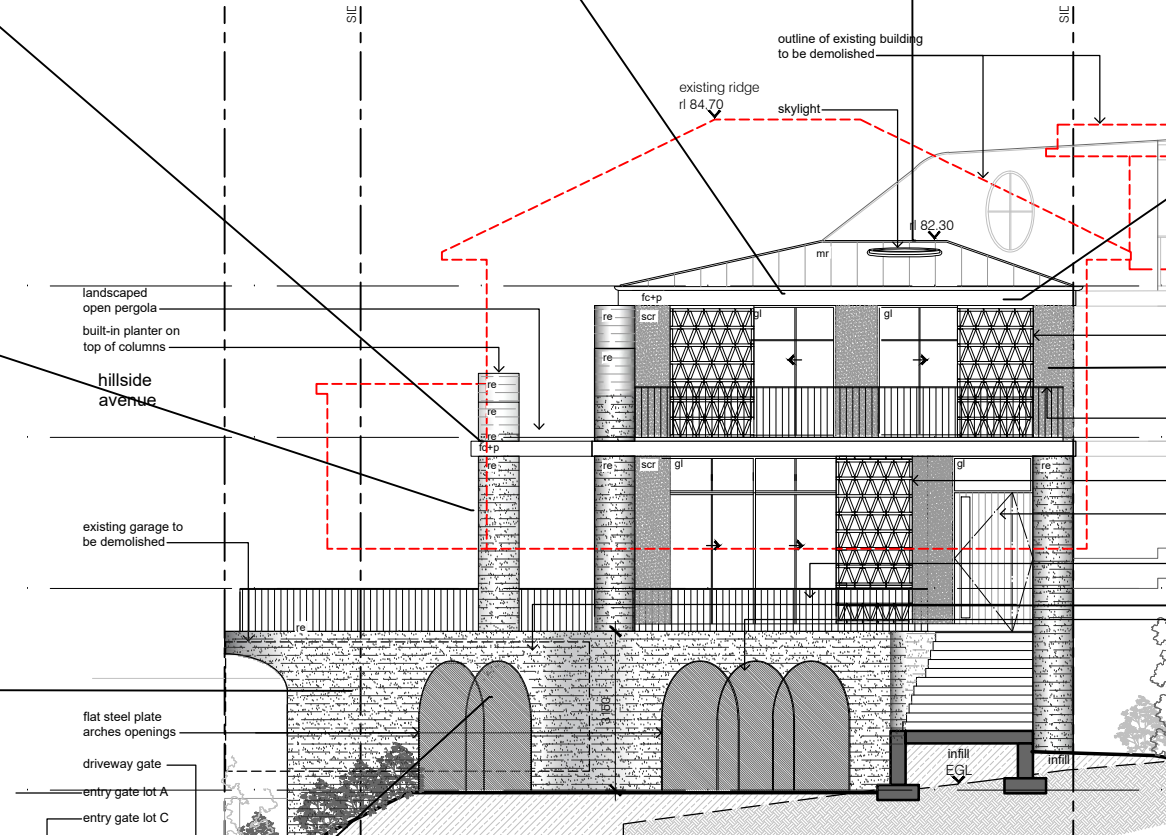
earth coating



metal fence (black)



timber pergola



rammed earth wall (earth colour)



flat steel plate arches (black)

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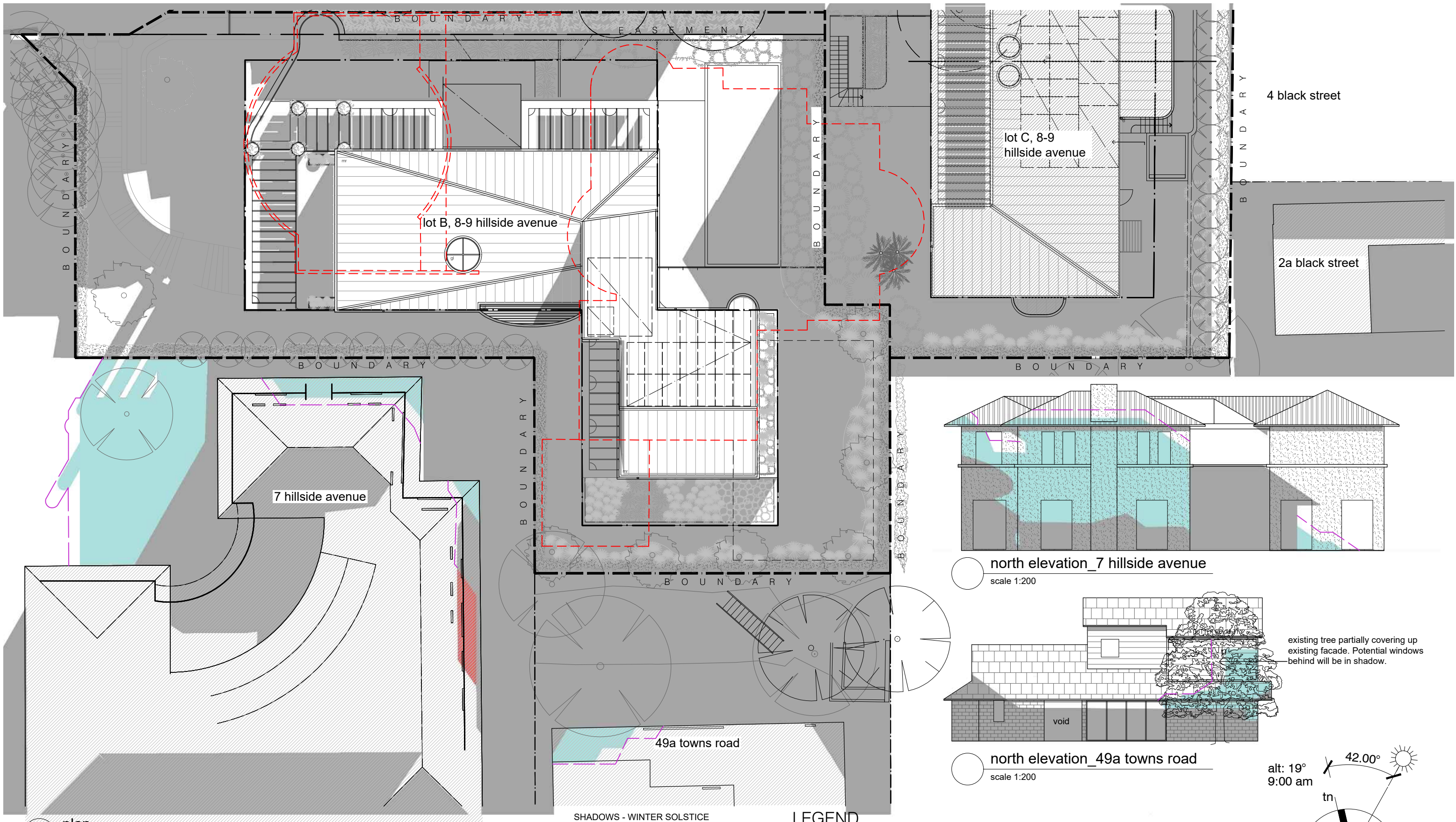
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external finishes
new dwelling house - LOT B
8-9 hillside avenue vaucuse

no changes

DA18 issue D
scale nts
plotdate 3/3/2021 3:23 PM
cadfile external finishes.dwg
1817B

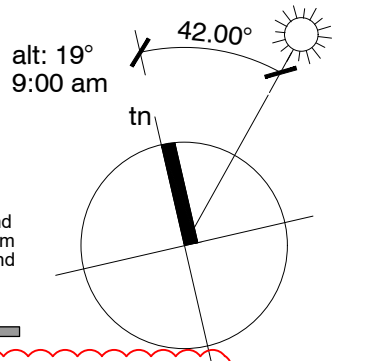
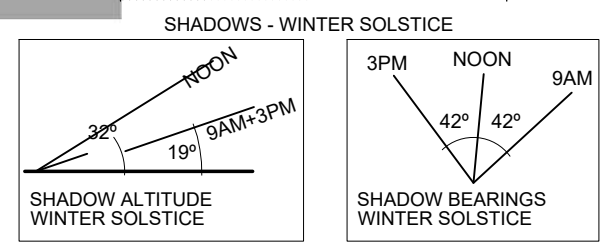




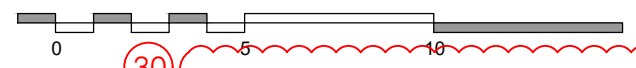
plan
scale 1:200

north elevation_7 hillside avenue
scale 1:200

north elevation_49a towns road
scale 1:200



NOTE:
drawing based on site survey and
where unavailable, estimates from
aerial photos, DCP/LEP maps and
department of land maps



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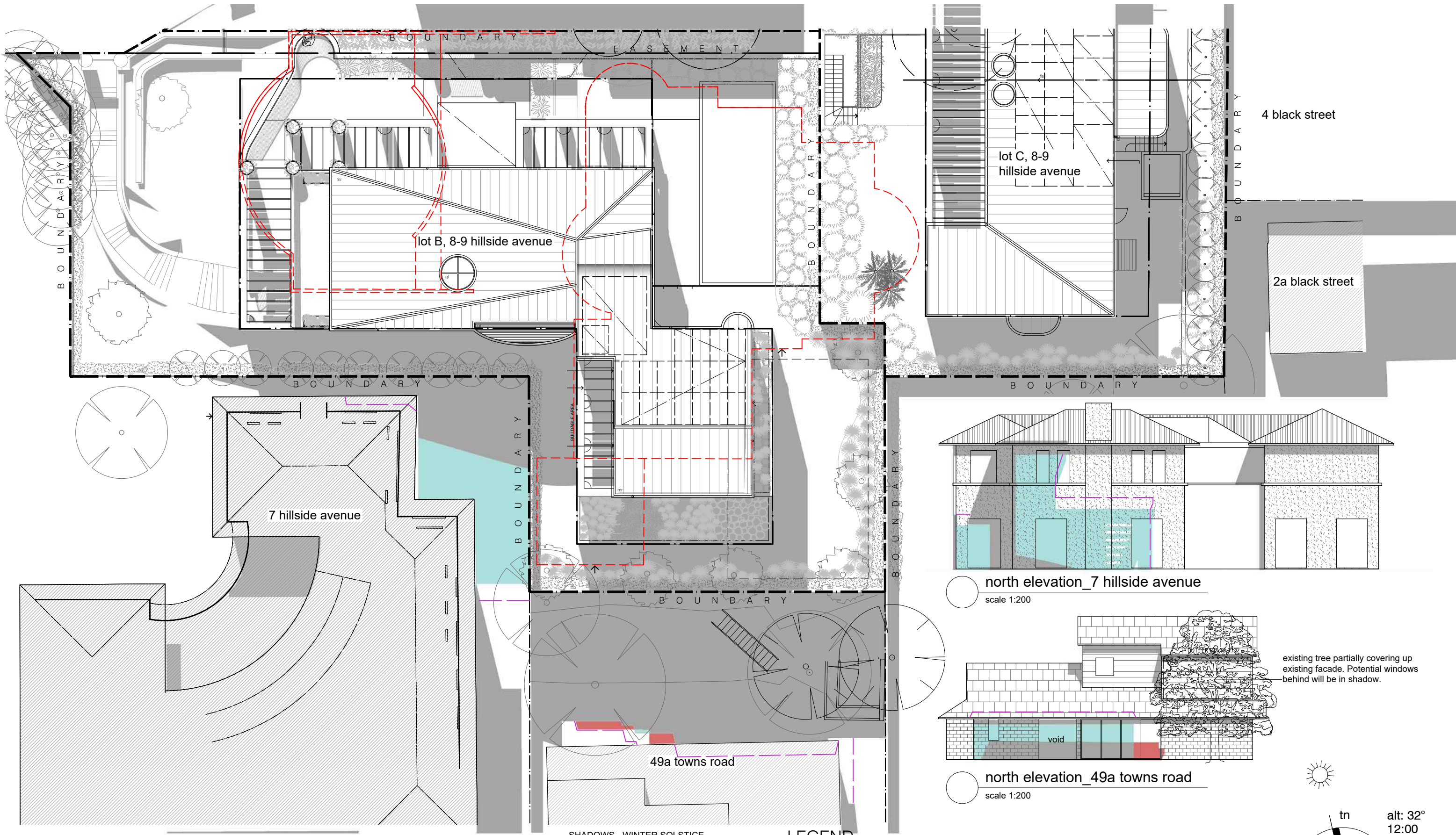
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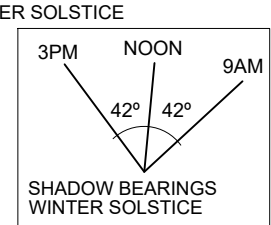
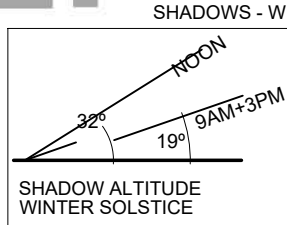
shadows - 9am
new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA19 issue D
scale 1:200
plotdate 3/3/2021 3:23 PM
cadfile shadow
diagrams_9am.dwg
1817B

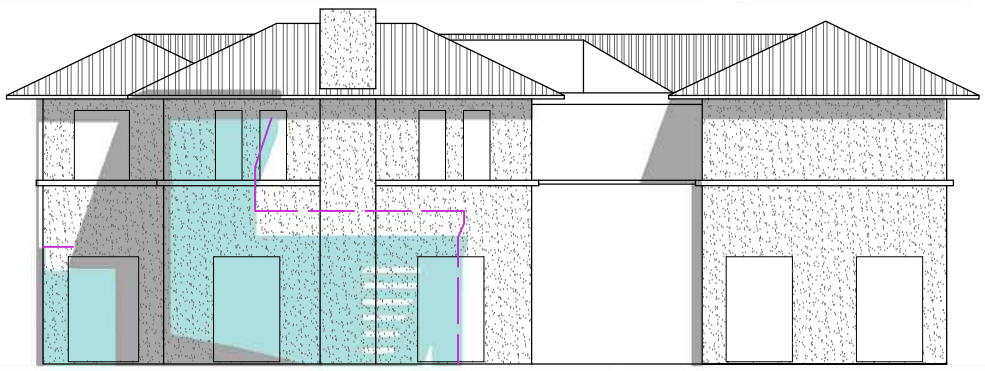




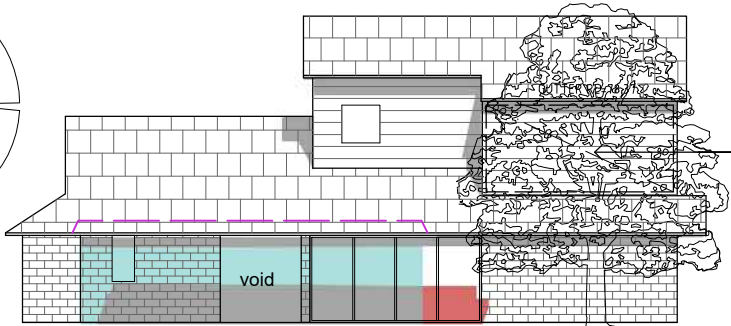
plan
scale 1:200



- LEGEND**
- existing shadows
 - additional shadows
 - daylight gain to neighbour

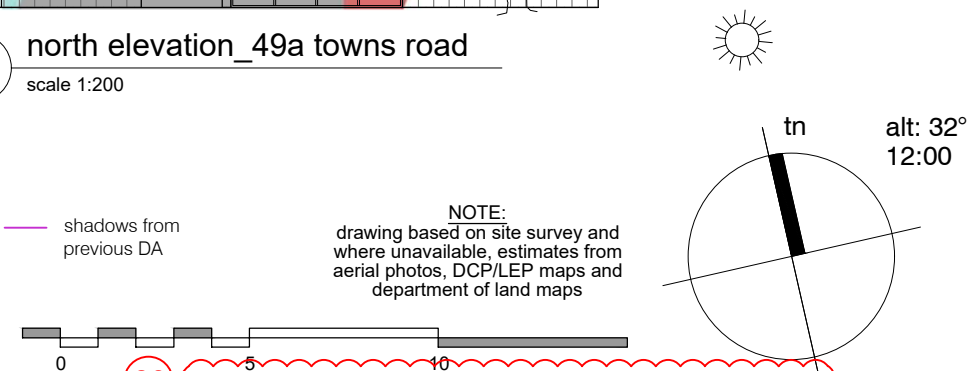


north elevation_7 hillside avenue
scale 1:200

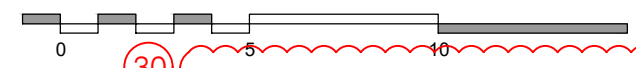


north elevation_49a towns road
scale 1:200

existing tree partially covering up existing facade. Potential windows behind will be in shadow.



NOTE:
drawing based on site survey and where unavailable, estimates from aerial photos, DCP/LEP maps and department of land maps



issue	date	description
-	14.04.20	da_submission
C	29.01.21	further_amendments
D	03.03.21	lec_amendment

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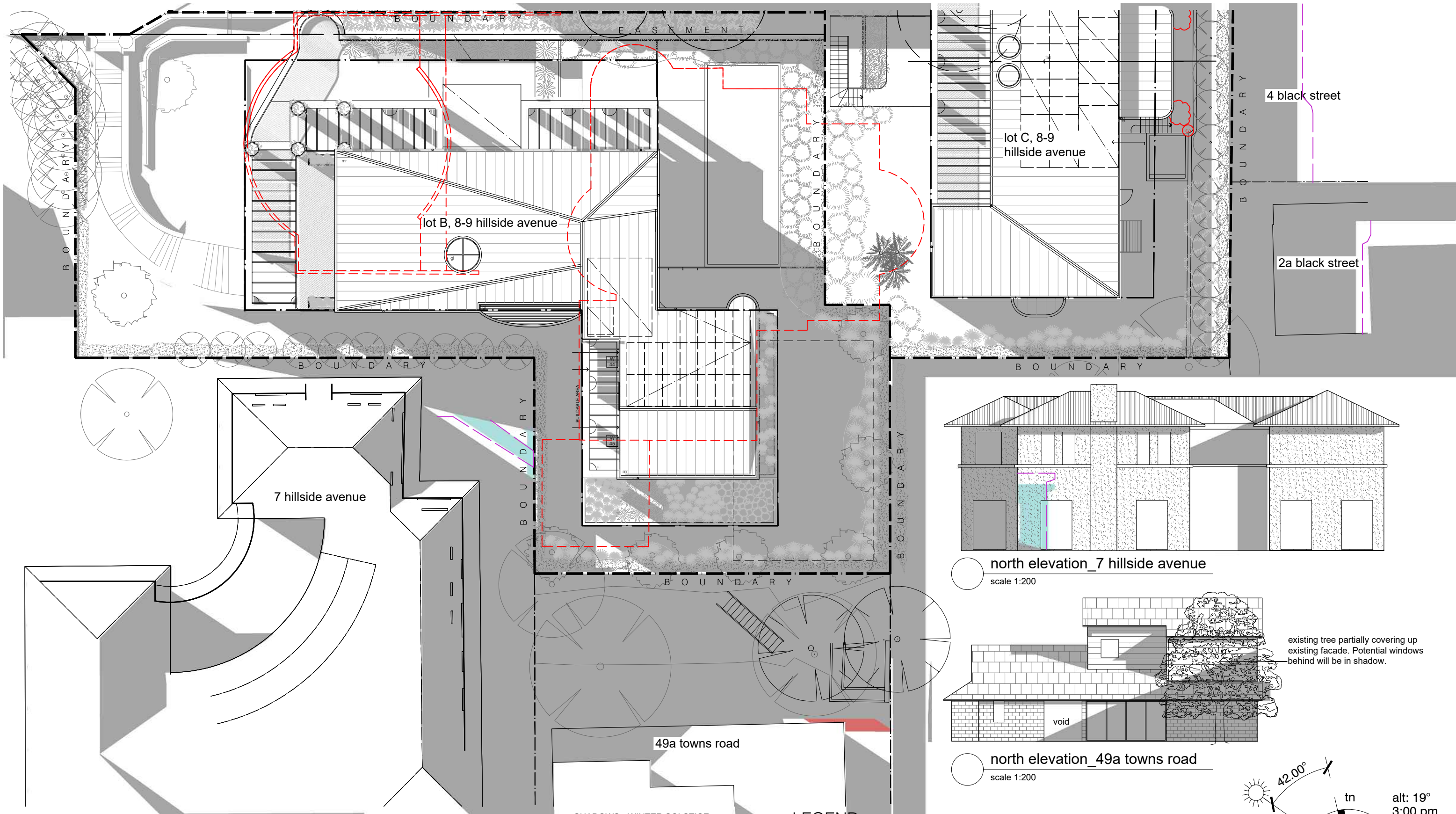
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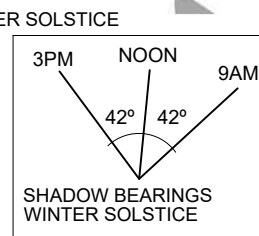
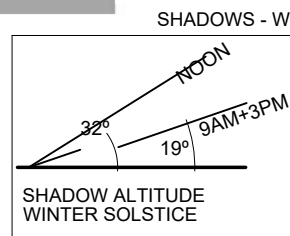
shadows - 12pm
new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA20 issue **D**
scale 1:200
plotdate 3/3/2021 3:24 PM
cadfile shadow diagrams_12pm.dwg
1817B





plan
scale 1:200

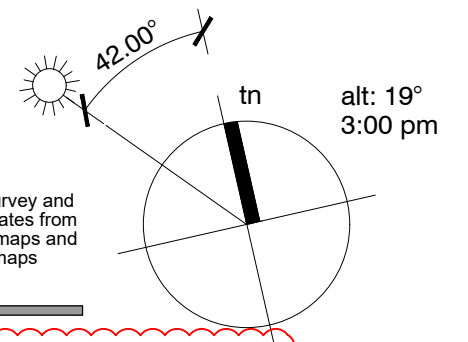


LEGEND

- existing shadows
- additional shadows
- daylight gain to nieghbour

north elevation_49a towns road
scale 1:200

north elevation_7 hillside avenue
scale 1:200



NOTE:
drawing based on site survey and
where unavailable, estimates from
aerial photos, DCP/LEP maps and
department of land maps



shadows - 3pm

new dwelling house - LOT B
8-9 hillside avenue vaucuse

DA21 issue D

scale 1:200
plotdate 3/3/2021 3:24 PM
cadfile shadow
diagrams_3pm.dwg
1817B



issue	date	description
-	14.04.20	da_submission
C	29.01.21	further_amendments
D	03.03.21	lec_amendment

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view from hillside avenue

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photomontage
new dwelling house - LOT B
8-9 hillside avenue vauclose

DA22 issue **D**
scale nts
plotdate 3/3/2021 4:13 PM
cadfile photomontage.dwg
1817B





view from hillside avenue

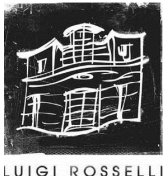
issue	date	description
D	03.03.21	lec_amendment

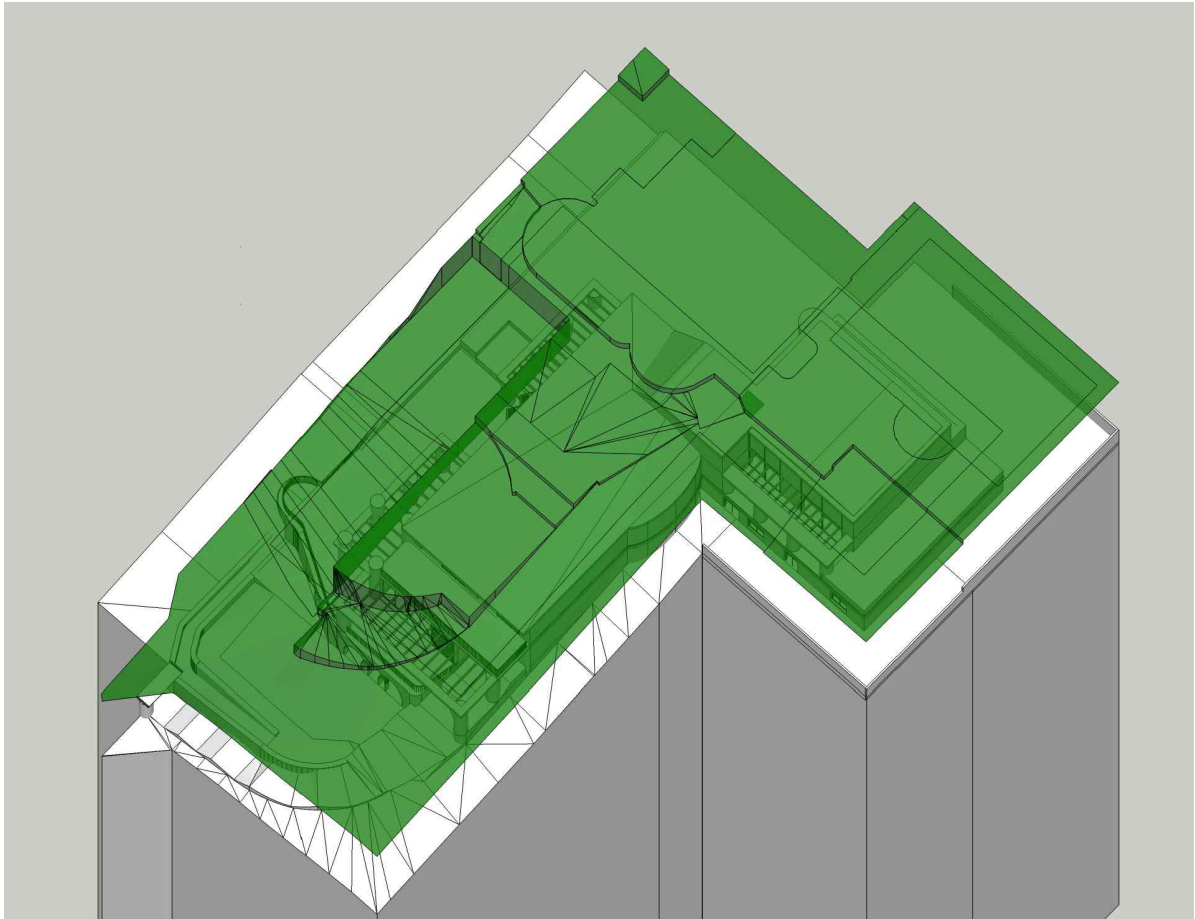
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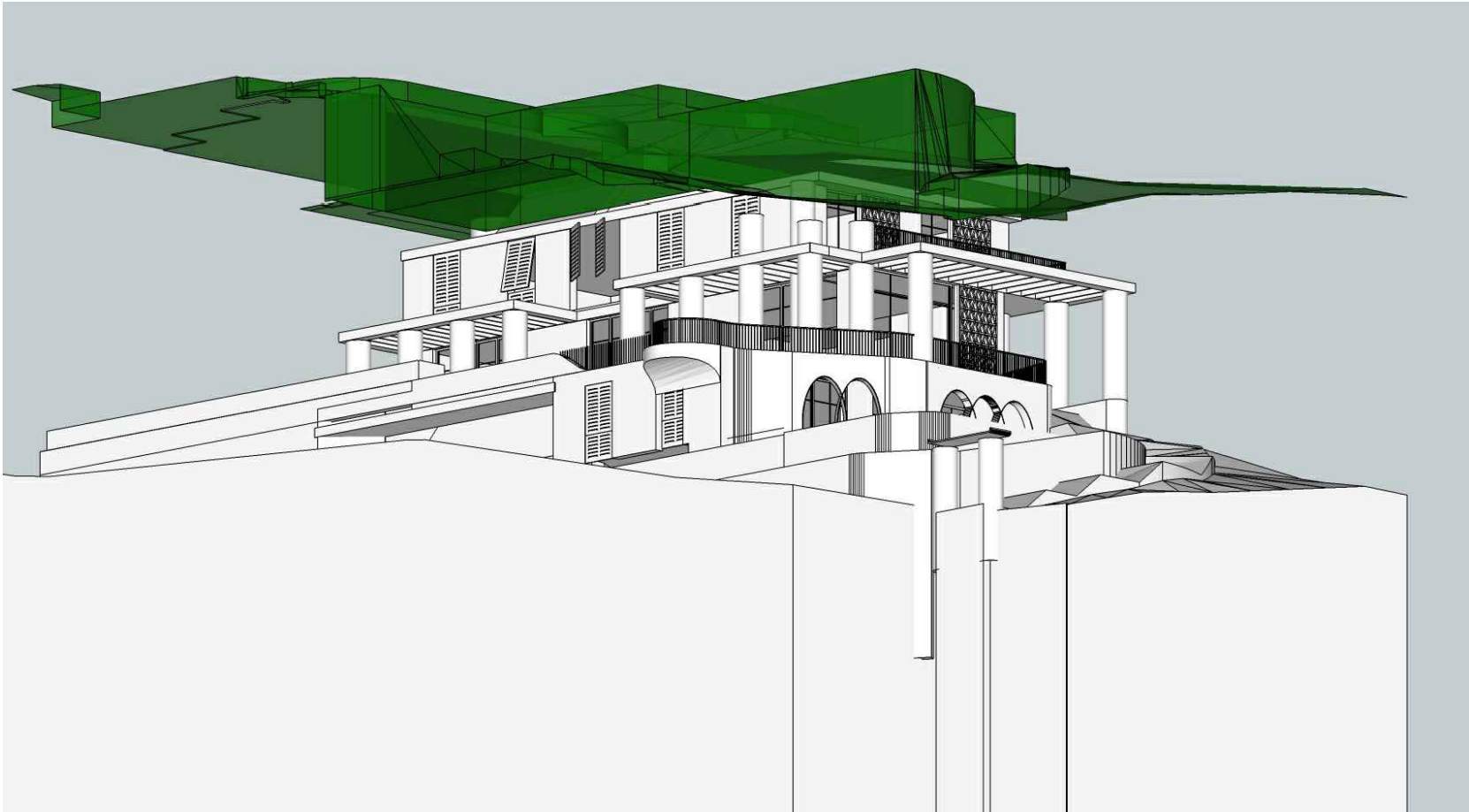
non-texturized
photomontage
new dwelling house
8-9 hillside avenue vaocluse

DA22A issue **D**
scale ----
plotdate 3/3/2021 4:14 PM
cadfile non-texturized view.dwg
1817

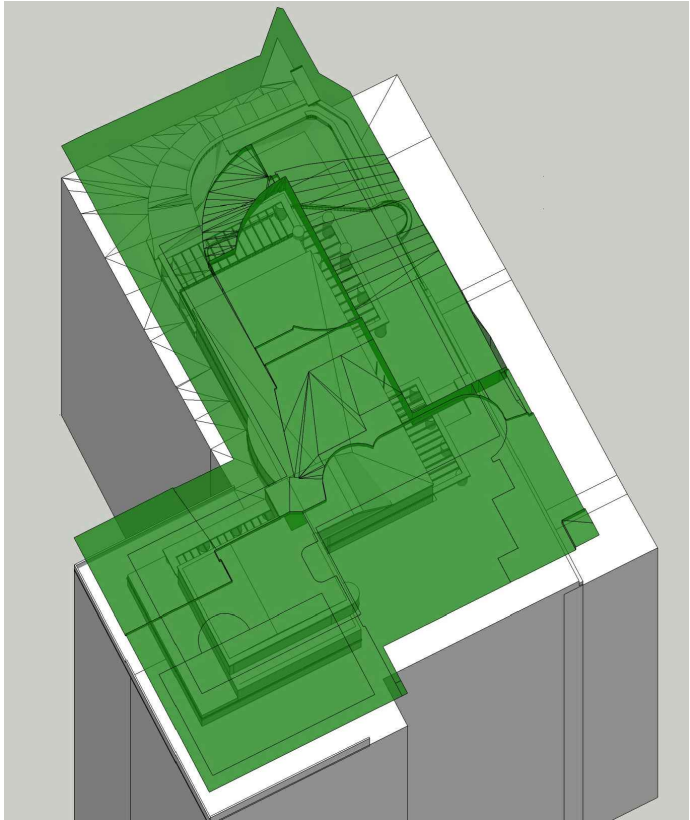




HEIGHT BLANKET_01



HEIGHT BLANKET_02



HEIGHT BLANKET_03



HEIGHT BLANKET_04

NOTE: Height blanket at 9.5m height from EGL as per LEP control.

issue	date	description
-	14.04.20	da_submission
D	03.03.21	lec_amendment

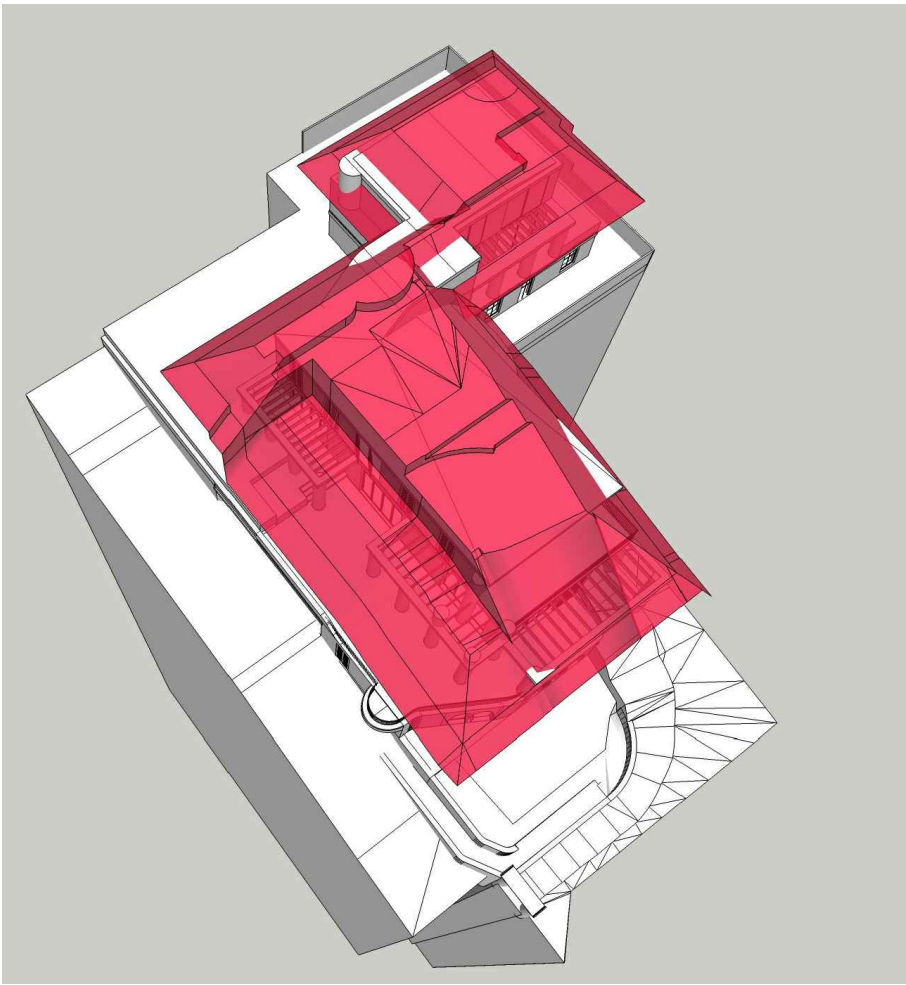
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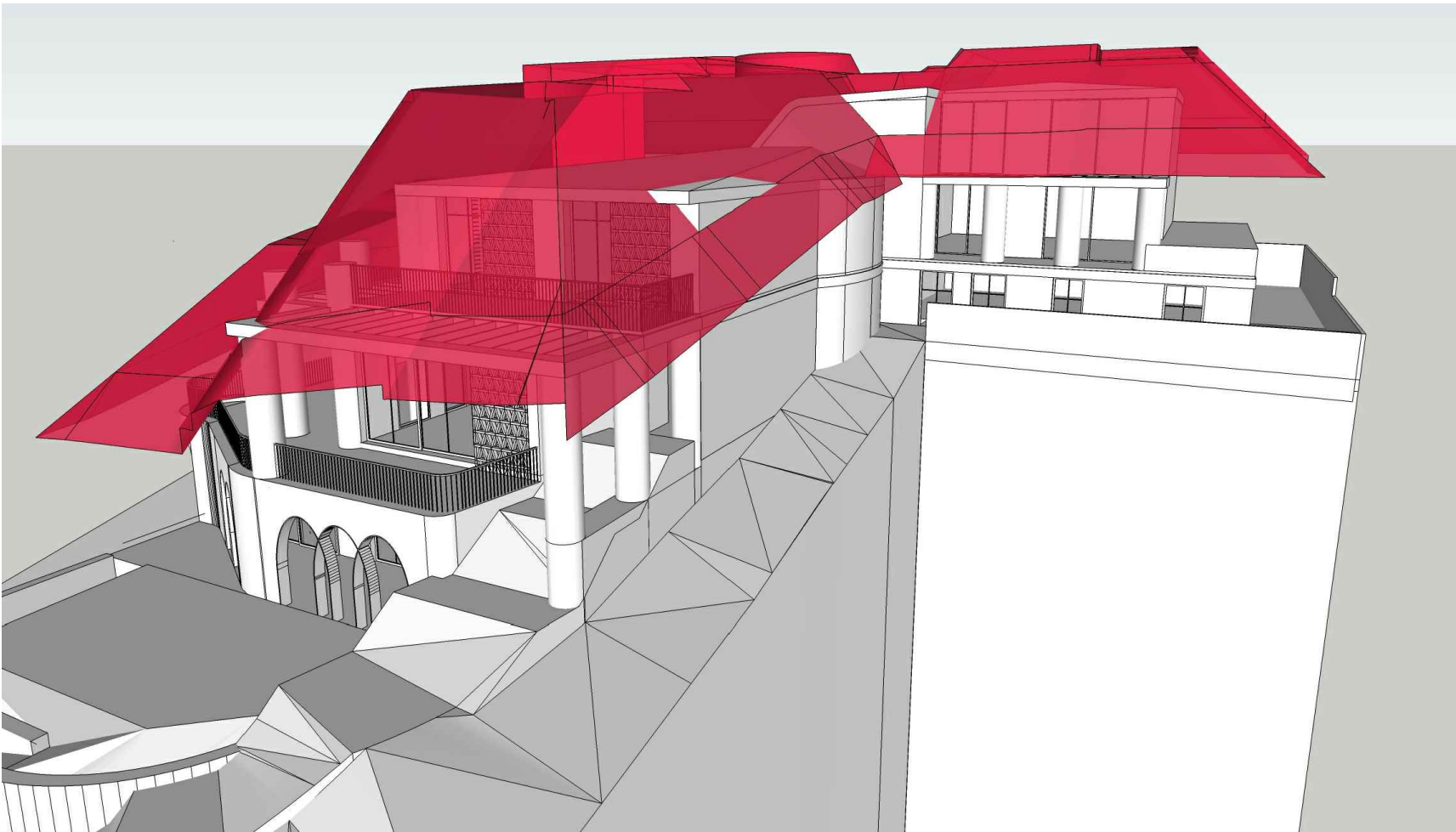
25
max. height control
new dwelling house - LOT B
8-9 hillside avenue vauclose

DA23 issue **D**
scale nts
plotdate 3/3/2021 4:15 PM
cadfile height blanket control.dwg
1817B

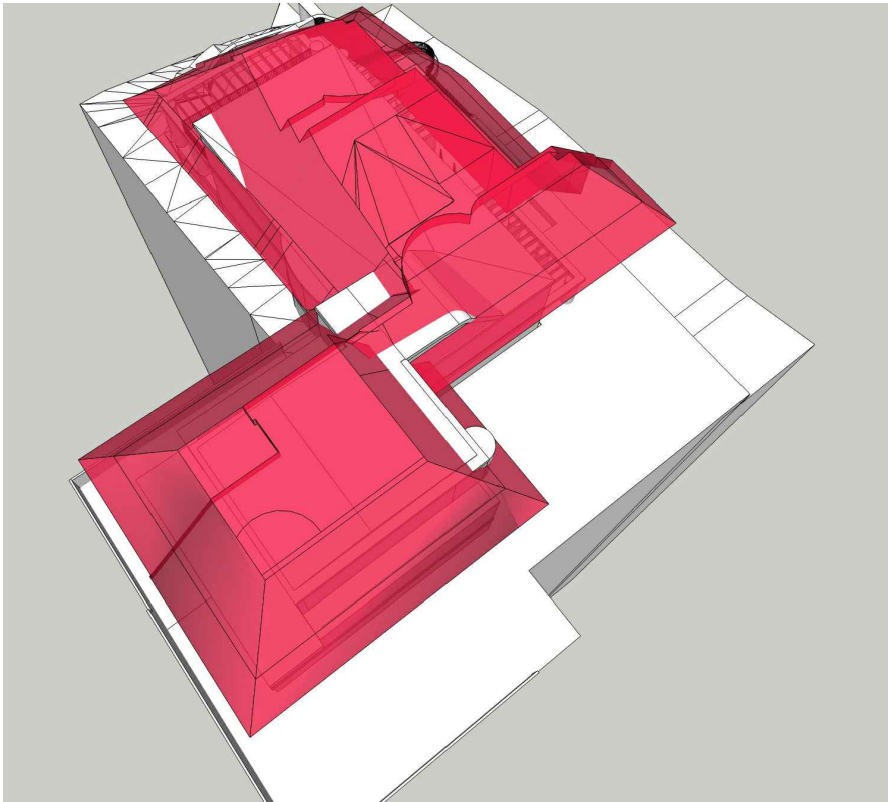




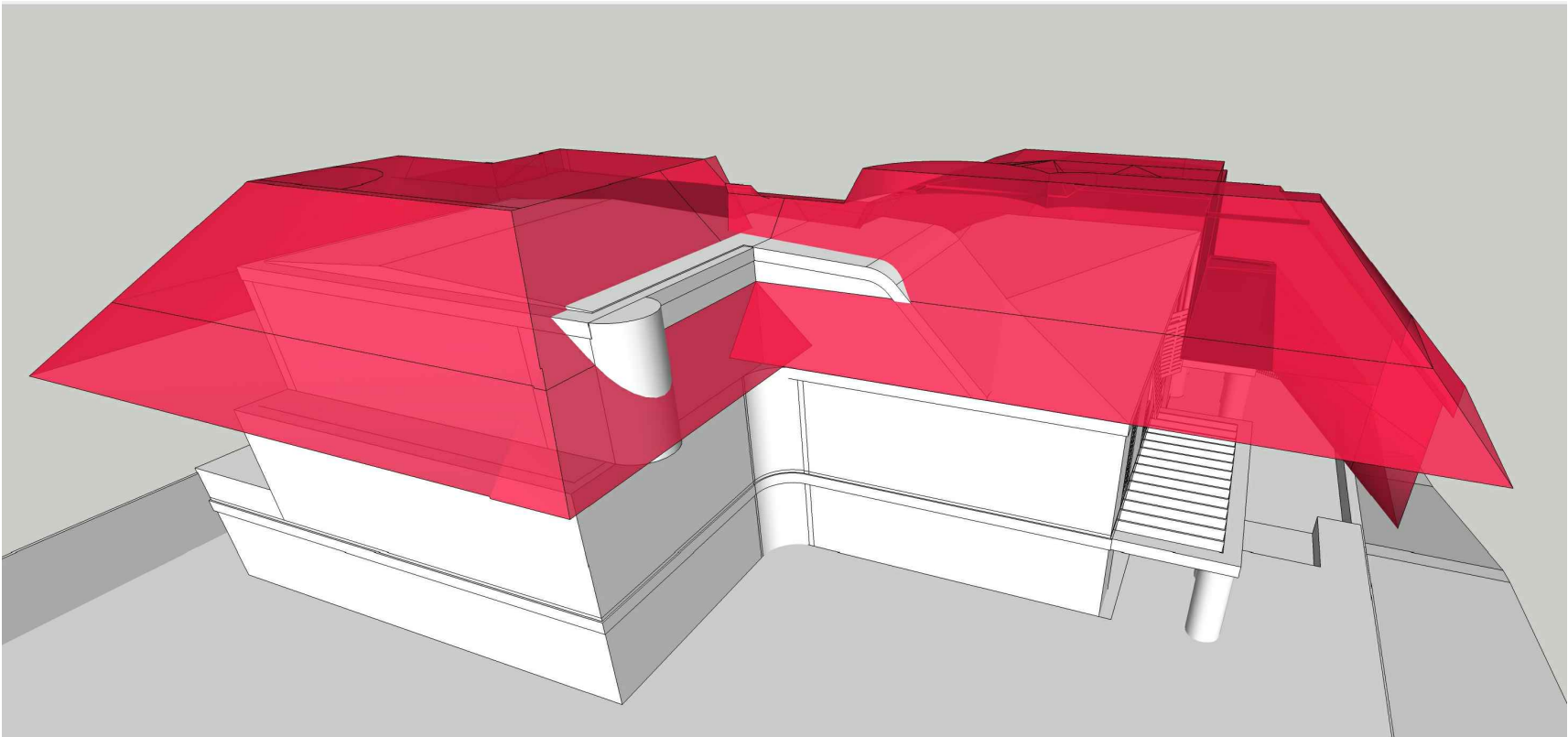
WALL HEIGHT BLANKET_01



WALL HEIGHT BLANKET_02



WALL HEIGHT BLANKET_03



WALL HEIGHT BLANKET_04

NOTE: wall height and inclined plane as per Woollahra DCP'15

issue	date	description
-	14.04.20	da_submission
C	29.01.21	further_amendments
D	03.03.21	lec_amendment

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26 max. wall height control
new dwelling house - LOT B
8-9 hillside avenue vauclose

DA24 issue D
scale nts
plotdate 3/3/2021 4:15 PM
cadfile max. wall height control.dwg
1817B



WINDOW SCHEDULE (AMENDED)

1817 LOT B/ 8-9 HILLSIDE AVENUE

LOWER GROUND FLOOR					
WINDOW	dimensions (wxh) in m	SHADING	TYPE	ORIENT	OPERATION
W1	3.00x2.80	TERRACE ON TOP	ALUMINIUM	W	sliding
W2	4.33x2.80	TERRACE ON TOP	ALUMINIUM	W	sliding
W3	1.20x2.80	FIXED SHUTTERS	ALUMINIUM	N	double hung

GROUND FLOOR					
WINDOW	dimensions (wxh) in m	SHADING	TYPE	ORIENT	OPERATION
W4	1.2X3.32	NONE	ALUMINIUM	S	fixed
W5	1.2X2.62	NONE	ALUMINIUM	S	top casement
W6	6X2.62	NONE	ALUMINIUM	S	fixed
W7	1.2X2.62	NONE	ALUMINIUM	W	top casement
W8	1.2X1.72	NONE	ALUMINIUM	W	casement
W9	1.0X2.62	NONE	ALUMINIUM	W	hinged
W10	1.2X1.72	NONE	ALUMINIUM	W	casement
W11a	1.1X1.72	NONE	ALUMINIUM	S	casement
W11b	1.0X2.62	NONE	ALUMINIUM	S	hinged
W12	1.1X1.72	NONE	ALUMINIUM	S	casement
W13	1.1X1.72	NONE	ALUMINIUM	S	casement
W14	1.6X2.62	NONE	ALUMINIUM	E	french door
W15	1.6X2.62	NONE	ALUMINIUM	E	french door
W16	1.2X2.62	NONE	ALUMINIUM	E	double hung
W17	4.4X2.62	NONE	ALUMINIUM	N	sliding
W18	1.2X2.62	NONE	ALUMINIUM	E	hinged
W19	1.2X2.62	NONE	ALUMINIUM	E	fixed
W20	1.2X2.62	NONE	ALUMINIUM	E	fixed
W21	3.6X2.62	PERGOLA ABOVE	ALUMINIUM	N	french door with fix panels on the side
W22	3.6X3.32	RETRACTABLE AWNING	ALUMINIUM	N	french door with fix panels on the side
W23	1.8X3.32	PERGOLA ABOVE	ALUMINIUM	N	french door
W24	1.2X3.32	PERGOLA ABOVE	ALUMINIUM	N	fixed
W25	4.85X3.32	PERGOLA ABOVE	ALUMINIUM	W	sliding

FIRST FLOOR					
WINDOW	dimensions (wxh) in m	SHADING	TYPE	ORIENT	OPERATION
W26	1.0x2.62	OPERABLE SHUTTERS	ALUMINIUM	S	double hung
W27	6.0x2.62	OPERABLE SHUTTERS	ALUMINIUM	S	fixed
W28	2.4x2.62	PERGOLA ABOVE	ALUMINIUM	W	sliding
W29	3.0x2.62	PERGOLA ABOVE	ALUMINIUM	W	sliding
W30	1.2x1.78	OPERABLE SHUTTERS	ALUMINIUM	S	double hung
W31	2.14x1.78	OPERABLE SHUTTERS	ALUMINIUM	S	sliding
W32	2.14x1.78	OPERABLE SHUTTERS	ALUMINIUM	E	sliding
W33	1.2x2.62	OPERABLE SHUTTERS	ALUMINIUM	E	double hung
W34	4.4X2.62	OPERABLE SHUTTERS	ALUMINIUM	N	sliding
W35	1.2x2.62	OPERABLE SHUTTERS	ALUMINIUM	E	double hung
W36	1.2x2.62	OPERABLE SHUTTERS	ALUMINIUM	E	double hung
W37	1.2x2.62	OPERABLE SHUTTERS	ALUMINIUM	N	double hung
W38	1.2x2.62	OPERABLE SHUTTERS	ALUMINIUM	N	double hung
W39	2.2x2.62	OPERABLE SHUTTERS	ALUMINIUM	N	sliding
W40	1.2x2.62	OPERABLE SHUTTERS	ALUMINIUM	N	double hung
W41	1.2x2.62	SCREEN	ALUMINIUM	N	double hung

W42	3.25x2.62	FIXED SHADING	ALUMINIUM	W	sliding
W43	3.1x2.62	FIXED SHADING	ALUMINIUM	W	sliding

SECOND FLOOR					
WINDOW	dimensions (wxh) in m	SHADING	TYPE	ORIENT	OPERATION
W44	2.4x2.5	NONE	ALUMINIUM	W	sliding
W45	3x2.5	NONE	ALUMINIUM	W	sliding
W46	1.1x2.5	OPERABLE SHUTTERS	ALUMINIUM	S	double hung
W47	2.14x2.5	OPERABLE SHUTTERS	ALUMINIUM	S	sliding
W48	2.14x1.6	OPERABLE SHUTTERS	ALUMINIUM	E	sliding
W49	1.2x1.6	OPERABLE SHUTTERS	ALUMINIUM	E	double hung
W50	0.65x1.6	FIXED SHUTTERS BOTTOM PART	ALUMINIUM	E	frameless double hung
W51	1.46x2.5	FIXED SHUTTERS BOTTOM PART	ALUMINIUM	N	fixed
W52	0.75x2.6	FIXED SHUTTERS BOTTOM PART	ALUMINIUM	N	frameless double hung
W53	1.1x2.5	OPERABLE SHUTTERS	ALUMINIUM	N	double hung
W54	area = 1.2sqm	NONE	ALUMINIUM	W	awning

skylight 1	area = 2.85sqm	NONE	ALUMINIUM		FIXED
skylight 2	area = 5.5 sqm	adj louvres	ALUMINIUM		fixed

DELETED

	date	description
-	14.04.20	da_submission
D	03.03.21	lec_amendment

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thermal certificate
new dwelling house - LOT B
8-9 hillside avenue vauclose

DA27 issue - D
scale ----
plotdate 3/3/2021 4:16 PM
cadfile thermal certificate.dwg
1817B

